



**BULK REQUIREMENTS**

**RB- ZONE**

**BULK REQUIREMENTS**

LOT AREA, NET (S.F.)	MINIMUM	45,400±
LOT AREA, GROSS (S.F.)	10,000	45,400±
FRONTAGE (FT.)	12,000	46.5±
FRONT YARD (FT.)	60	45.4±
REAR YARD (FT.)	40	62±
SIDE YARD (FT.)	40	15
	15	27.7±
	MAXIMUM	
BUILDING COVERAGE (%)	50	15±
BUILDING HEIGHT (STORIES)	2	3*
		*VARIANCE REQUIRED

**PARKING CALCULATION**

OFFICE	1 SPACE PER 300 S.F. BLDG. AREA
RETAIL	1 SPACE PER 300 S.F. BLDG. AREA
SHUL	1 SPACE PER 40 S.F. MAIN AREA

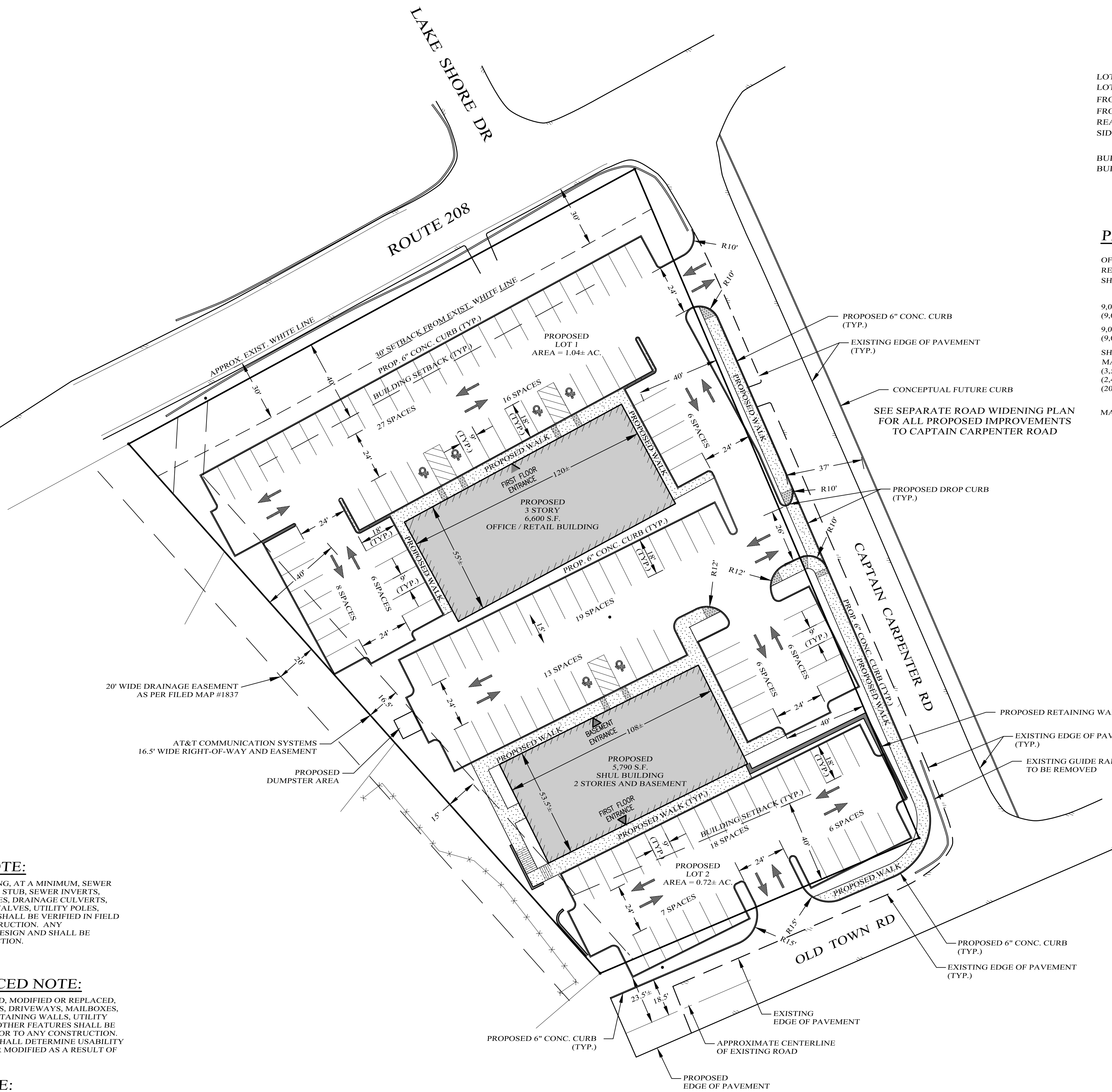
9,000 S.F. OFFICE  
(9,000 S.F. / 300 S.F.) = 30 SPACES  
 9,000 S.F. RETAIL  
(9,000 S.F. / 300 S.F.) = 30 SPACES  
 SHUL  
 MAIN ROOM = 3,500 S.F.  
(3,500 S.F. - 10%) / (12 SPACES) (50%) =  
(2,450) / (12 SPACES) (50%) =  
(204 SPACES) (50%) = 102 SPACES

MAX. SPACES REQUIRED = 162 SPACES  
 SPACES PROVIDED = 138 SPACES\*  
 \*VARIANCE REQUIRED



**LOCATION MAP**

SCALE: 1" = 2,000'



**EXISTING UTILITIES NOTE:**

EXISTING UTILITIES INFORMATION INCLUDING, AT A MINIMUM, SEWER MAINS, SEWER MANHOLES, SEWER LATERAL STUBS, SEWER INVERTS, CURBS, CATCH BASINS, DRAINAGE MANHOLES, DRAINAGE CULVERTS, DRAINAGE INVERTS, WATER MAIN, WATER VALVES, UTILITY POLES, ELECTRIC BOXES AND ANY OTHER UTILITIES SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES COULD VOID THE UTILITY DESIGN AND SHALL BE REPORTED TO ENGINEER BEFORE CONSTRUCTION.

**EXISTING ITEMS TO BE RELOCATED OR REPLACED NOTE:**

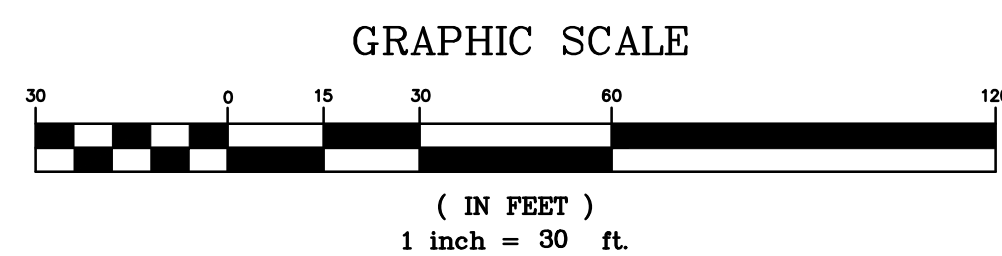
LOCATIONS OF EXISTING ITEMS TO BE MOVED, MODIFIED OR REPLACED, INCLUDING: WALKWAYS, SIDEWALKS, STAIRS, DRIVEWAYS, MAILBOXES, GARBAGE ENCLOSURES, PARKING AREAS, RETAINING WALLS, UTILITY POLES, CURBS, RAILINGS, FENCES AND ANY OTHER FEATURES SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. ENGINEER OR HIGHWAY SUPERINTENDANT SHALL DETERMINE USABILITY OF ANY EXISTING FEATURE TO BE MOVED OR MODIFIED AS A RESULT OF THE PROPOSED ROAD WIDENING.

**RETAINING WALL NOTE:**

\*\*ALL RETAINING WALLS SHOWN HEREON ARE TO DEMONSTRATE GRADING WITHIN THE LOT. THIS PLAN IS NOT INTENDED TO DEPICT THE STRUCTURAL DESIGN OF ANY RETAINING WALL AND SHALL NOT BE USED FOR THAT PURPOSE. ALL RETAINING WALLS SHALL BE DESIGNED BY A LICENSED GEOTECHNICAL ENGINEER AND THE DESIGN SUBMITTED TO THE VILLAGE OF KIRYAS JOEL BUILDING DEPARTMENT.

**LEGEND**

EXISTING PROPERTY LINE	---
EXISTING 2' CONTOUR LINE	-----
EXISTING 10' CONTOUR LINE	-----
PROPOSED CONTOUR LINE	----- (500)
EXISTING EDGE OF PAVEMENT	-----
PROPOSED EDGE OF PAVEMENT	-----
EXISTING STONEWALL	-----
EXISTING WIRE FENCE	-----
EXISTING OVER HEAD UTILITIES	-----
EXISTING EASEMENT LINE	-----
EXISTING EASEMENT LINE	-----
BUILDING SETBACK LINE	-----
EXISTING UTILITY POLE	-----



**SHEET INDEX**

SHEET #1	- SITE PLAN
SHEET #2	- EXISTING CONDITIONS MAP
SHEET #3	- GRADING & UTILITY PLAN
SHEET #4	- EROSION CONTROL PLAN
SHEET #5	- EROSION CONTROL DETAILS
SHEET #6	- LIGHTING PLAN
SHEET #7	- SITE DETAILS
SHEET #8	- SANITARY DETAILS
SHEET #9	- DRAINAGE DETAILS

**GENERAL NOTES:**

- VILLAGE OF SOUTH BLOOMING GROVE TAX MAP DESIGNATION: SEC. 209 BLK. 1 LOT 1.
- AREA OF PARCEL PER SURVEY: 1.759 AC.
- BOUNDARY INFORMATION PROVIDED BY: MAP ENTITLED "SURVEY OF PROPERTY FOR CARPENTER DRIVE LLC" AS PREPARED BY FRANK M. HOENS PROFESSIONAL LAND SURVEYOR, GOSHEN, NY. LAST REVISED FEBRUARY 23, 2018.
- TOPOGRAPHIC INFORMATION PROVIDED BY ORANGE COUNTY GIS MAPS.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.

Lands of  
**822 ROUTE 208**  
VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK  
PROJECT TITLE SEC. 209 BLK. 1 LOT 1

**SITE PLAN**

DRAWING TITLE

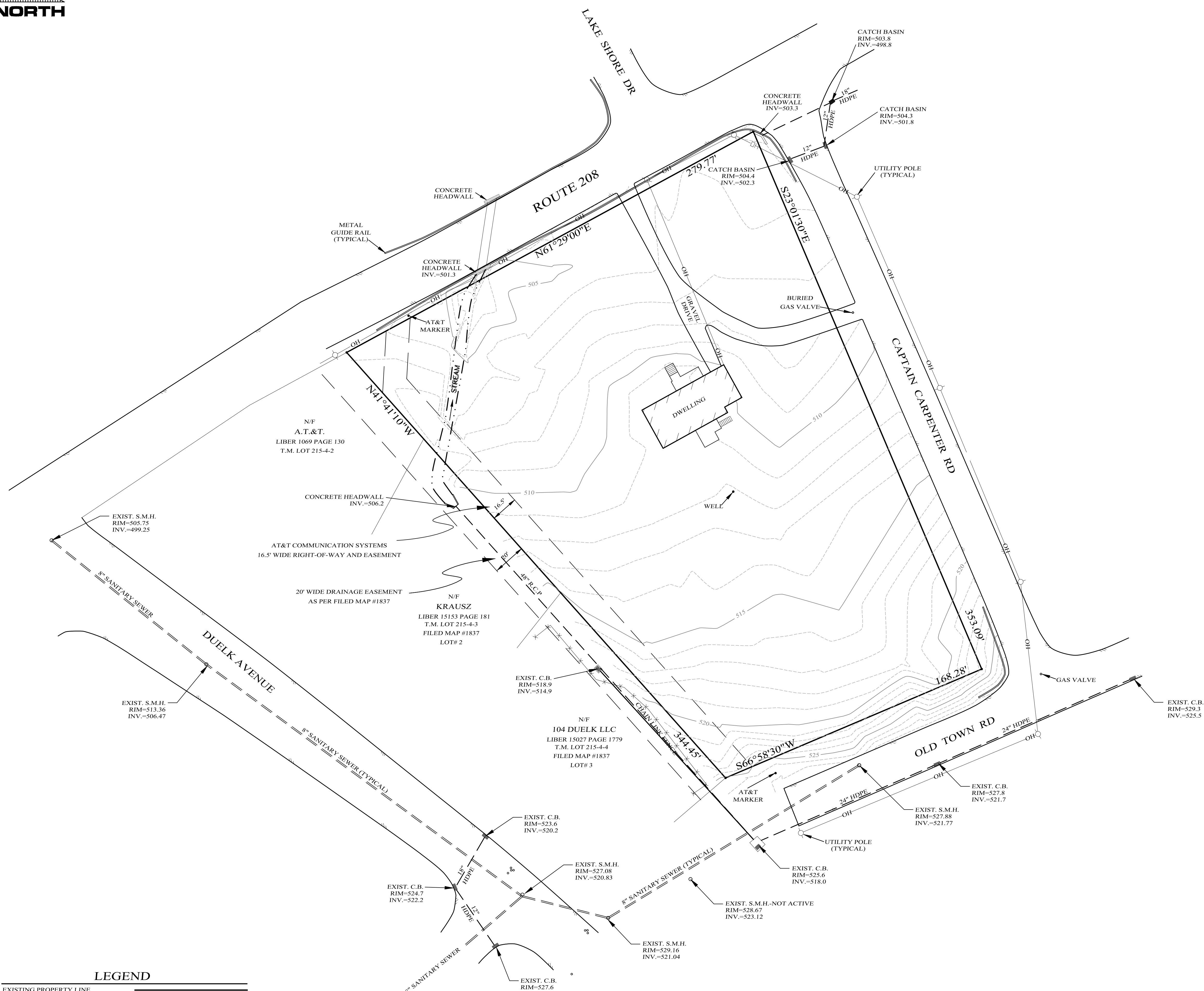
**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

DATE	REVISIONS	KIRK ROTHER, P.E. N.Y.S. LIC. NO. 079053	DATE
05-01-24	ADD BUILDING DIMENSIONS		
04-04-24	REV. PARKING CALCULATION & NOTES		
03-06-24	REV. BUILDING, PARKING LOT & DRAINAGE		
10-09-23	INITIAL PREPARATION		

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.	D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
	N.A.	N.A.	N.A.	1 OF 9
	CAD #	PROJECT #	SCALE	
	822RTE208	AS NOTED	AS NOTED	

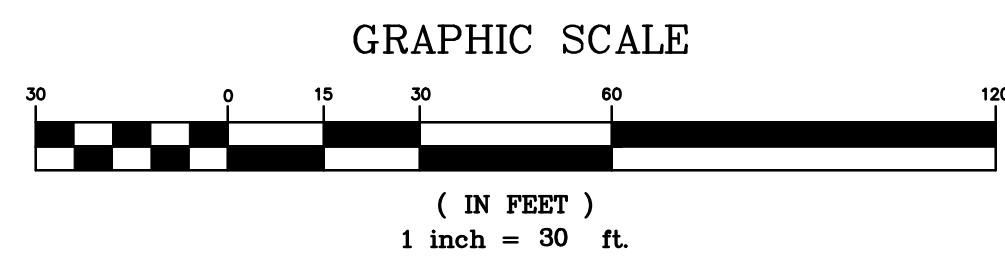


NORTH



**LEGEND**

EXISTING PROPERTY LINE	---
EXISTING 2' CONTOUR LINE	--- ---
EXISTING 10' CONTOUR LINE	--- --- ---
EXISTING WIRE FENCE	---x---
EXISTING OVER HEAD UTILITIES	---OH---
EXISTING EASEMENT LINE	---E---
EXISTING EASEMENT LINE	---E---
BUILDING SETBACK LINE	---S---
EXISTING UTILITY POLE	---P---



Lands of  
**822 ROUTE 208**  
VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK  
PROJECT TITLE SEC. 209 BLK. 1 LOT 1

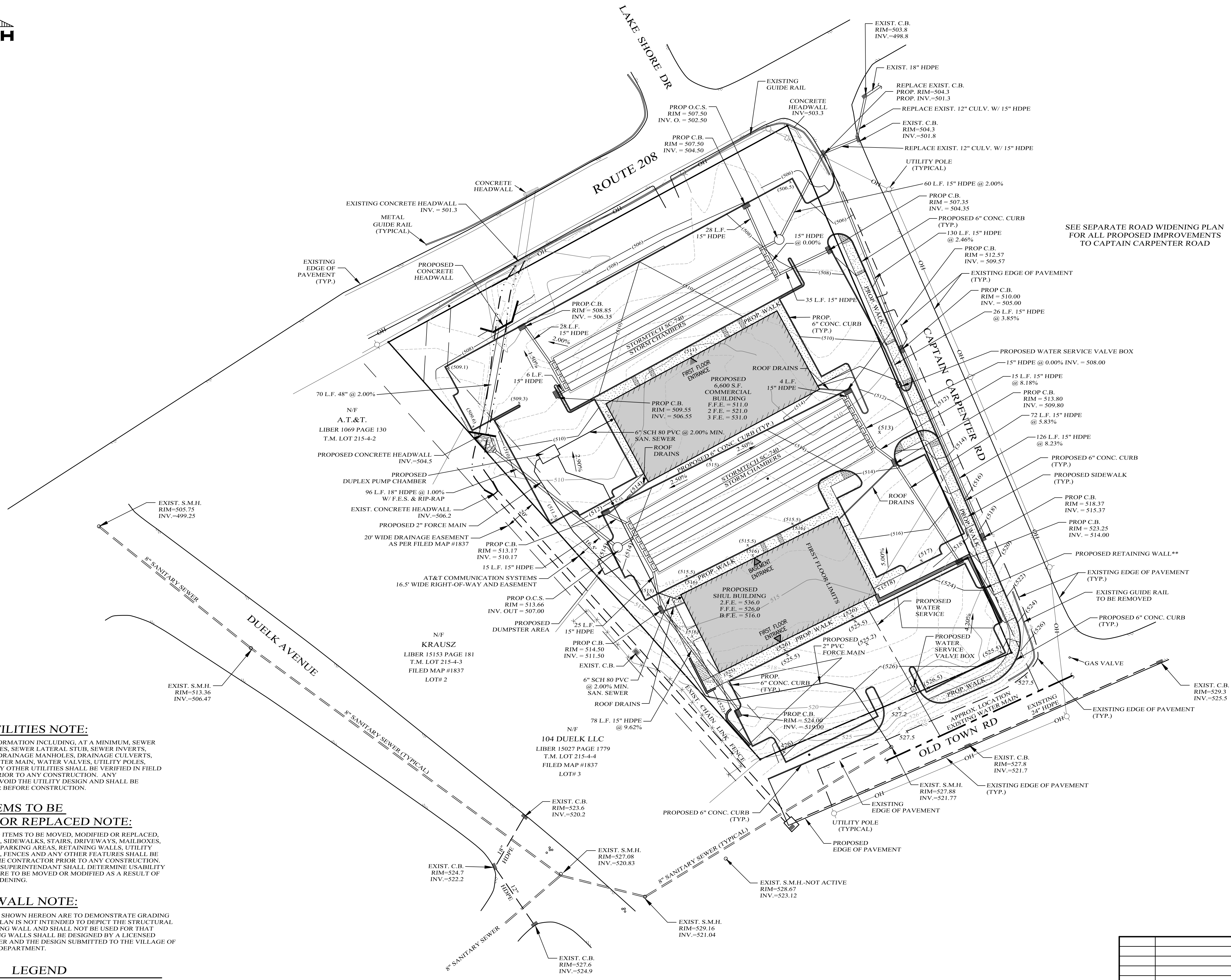
**EXISTING CONDITIONS MAP**  
DRAWING TITLE

**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

10-09-23	INITIAL PREPARATION				
DATE	REVISIONS				

D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	2 OF 9
CAD #	PROJECT #	SCALE	
822RTE208	AS NOTED	AS NOTED	

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SEE SEPARATE ROAD WIDENING PLAN FOR ALL PROPOSED IMPROVEMENTS TO CAPTAIN CARPENTER ROAD

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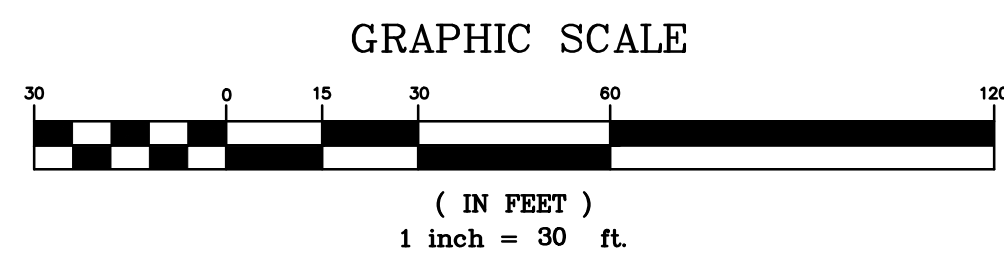
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**LEGEND**

EXISTING PROPERTY LINE	
EXISTING 2" CONTOUR LINE	
EXISTING 10' CONTOUR LINE	
PROPOSED CONTOUR LINE	
EXISTING EDGE OF PAVEMENT	
PROPOSED EDGE OF PAVEMENT	
PROPOSED CONC. CURB	



Lands of  
**822 ROUTE 208**  
VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK  
PROJECT TITLE SEC. 209 BLK. 1 LOT 1

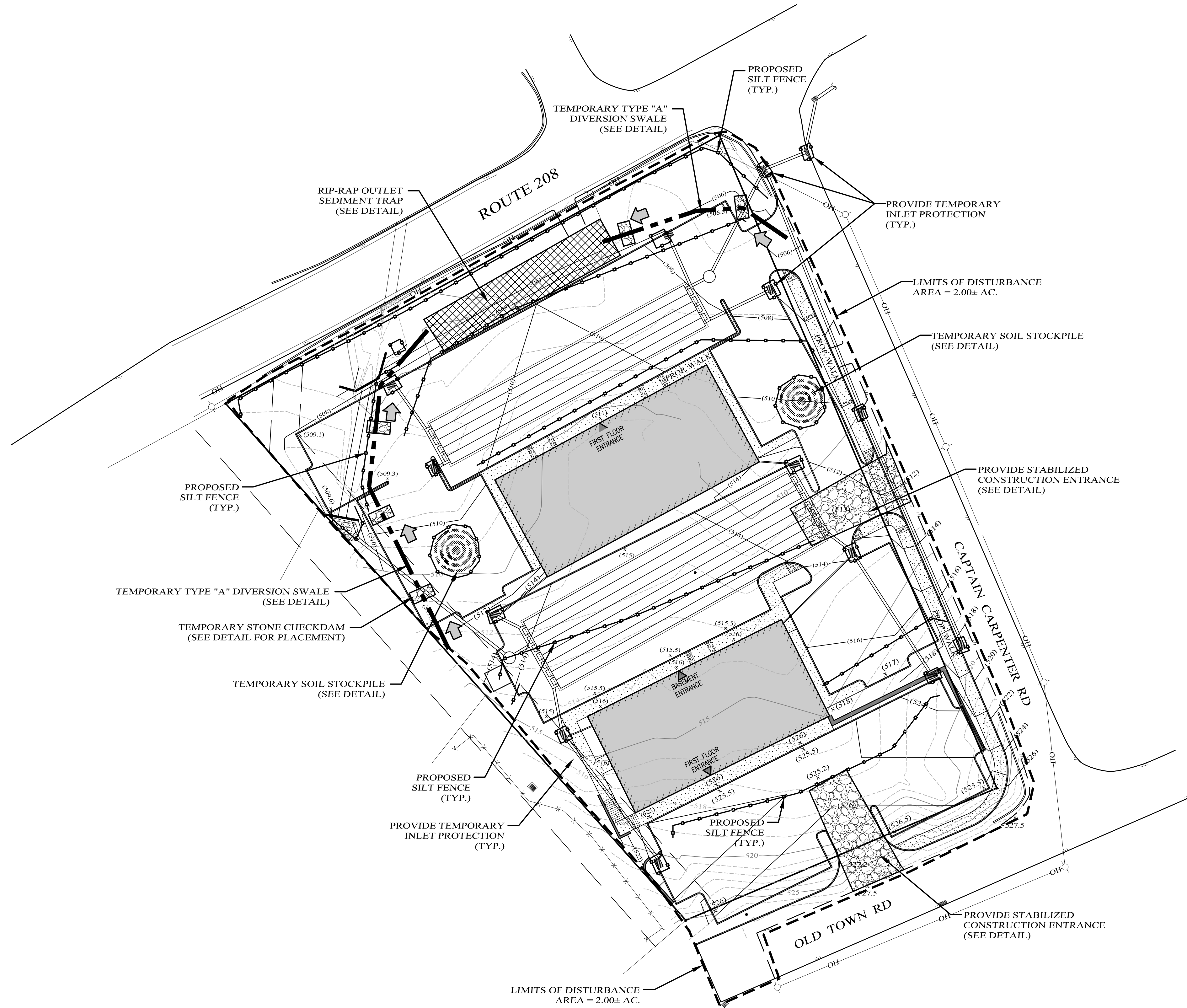
**GRADING & DRAINAGE PLAN**  
DRAWING TITLE

**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

03-06-24	REV. BUILDING, PARKING LOT & DRAINAGE
10-09-23	INITIAL PREPARATION
DATE	REVISIONS

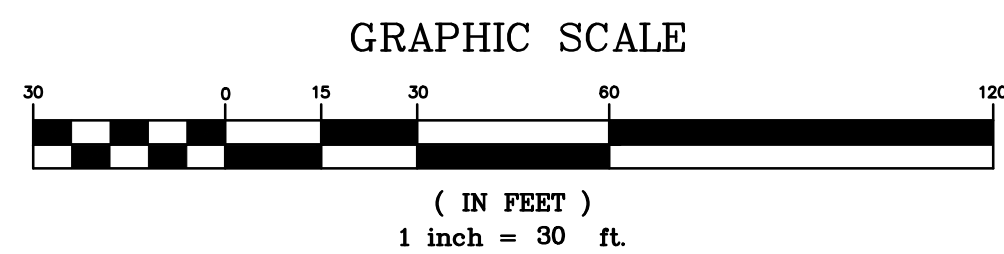
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N.A.	N.A.	N.A.	3 OF 9
CAD #	PROJECT #	SCALE	
822RTE208	AS NOTED	AS NOTED	

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**LEGEND**

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- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- EXISTING CONTOUR LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONC. CURB
- PROPOSED SILT FENCE
- PROPOSED STONE CHECK DAM
- PROPOSED DIVERSION SWALE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED TEMPORARY RIP-RAP OUTLET SEDIMENT TRAP
- PROPOSED SOIL STOCKPILE



Lands of  
**822 ROUTE 208**  
VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK  
PROJECT TITLE SEC. 209 BLK. 1 LOT 1

**EROSION CONTROL  
PLAN**  
DRAWING TITLE

**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

DATE	REVISIONS	D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
03-06-24	REV. BUILDING, PARKING LOT & DRAINAGE				
10-09-23	INITIAL PREPARATION				

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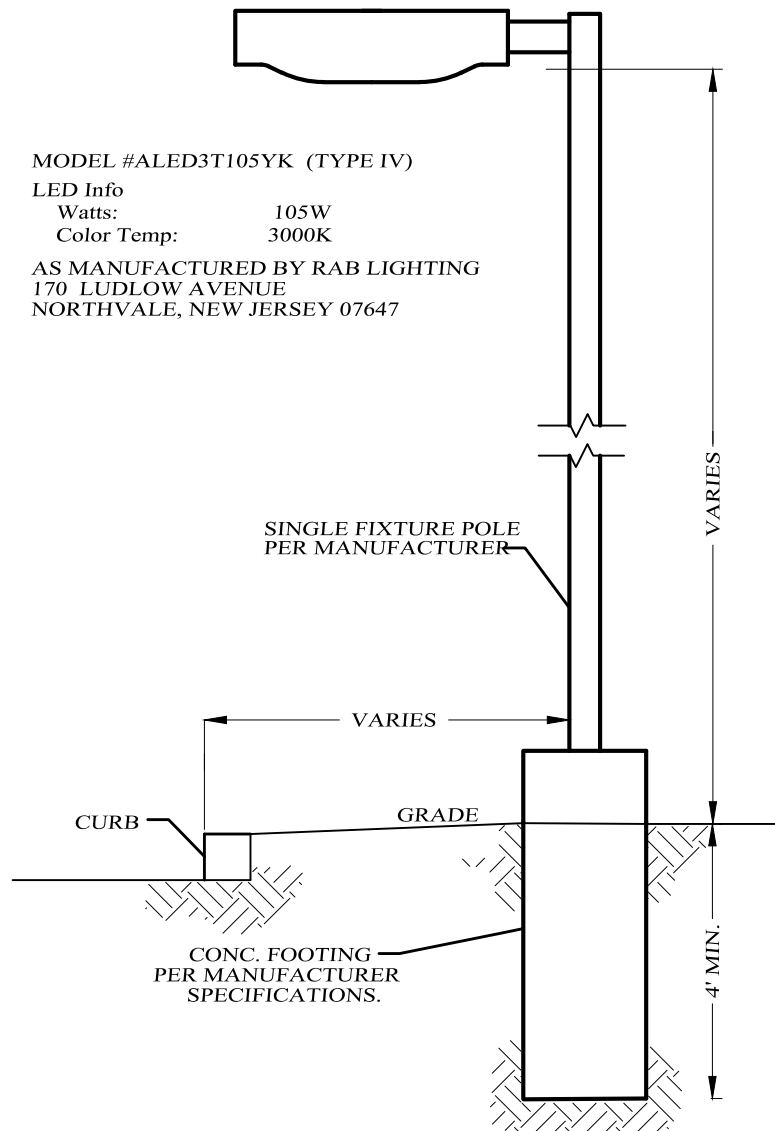
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N.A.	N.A.	N.A.	4 OF 9
822RTE208	AS NOTED	AS NOTED	

DATE	REVISIONS

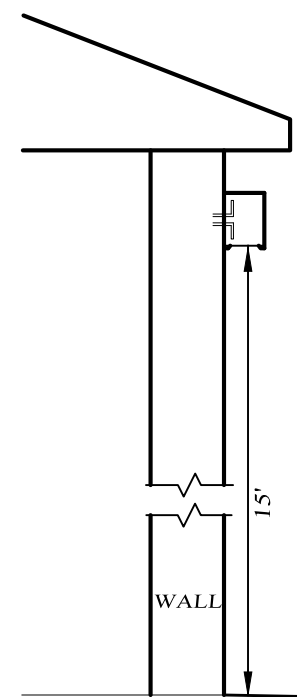




MODEL #ALED3T105YK (TYPE IV)  
 LED Info  
 Watts: 105W  
 Color Temp: 3000K  
 AS MANUFACTURED BY RAB LIGHTING  
 170 LUDLOW AVENUE  
 NORTHVALE, NEW JERSEY 07647



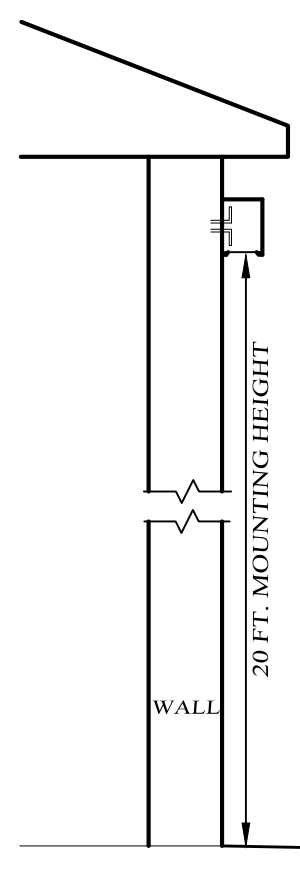
**POLE MOUNTED SINGLE LIGHT DETAIL**  
 NOT TO SCALE



MODEL #WPLED104Y  
 LED Info  
 Watts: 104W  
 Color Temp: 3000K  
 AS MANUFACTURED BY RAB LIGHTING  
 170 LUDLOW AVENUE  
 NORTHVALE, NEW JERSEY 07647  
 FIXTURE CAN BE TILTED TO  
 DIRECT LIGHT PATTERN DOWN.  
 EQUIVALENT FIXTURE MUST BE  
 "SHARP CUT-OFF TYPE" SO AS TO  
 PREVENT GLARE OVER BUILDINGS  
 OR OUTSIDE PROPERTY LINE.  
 ANCHORING AND WIRING  
 PER MANUFACTURER AND ALL  
 APPLICABLE CODES

**WALL MOUNTED LIGHT DETAIL**  
 NOT TO SCALE

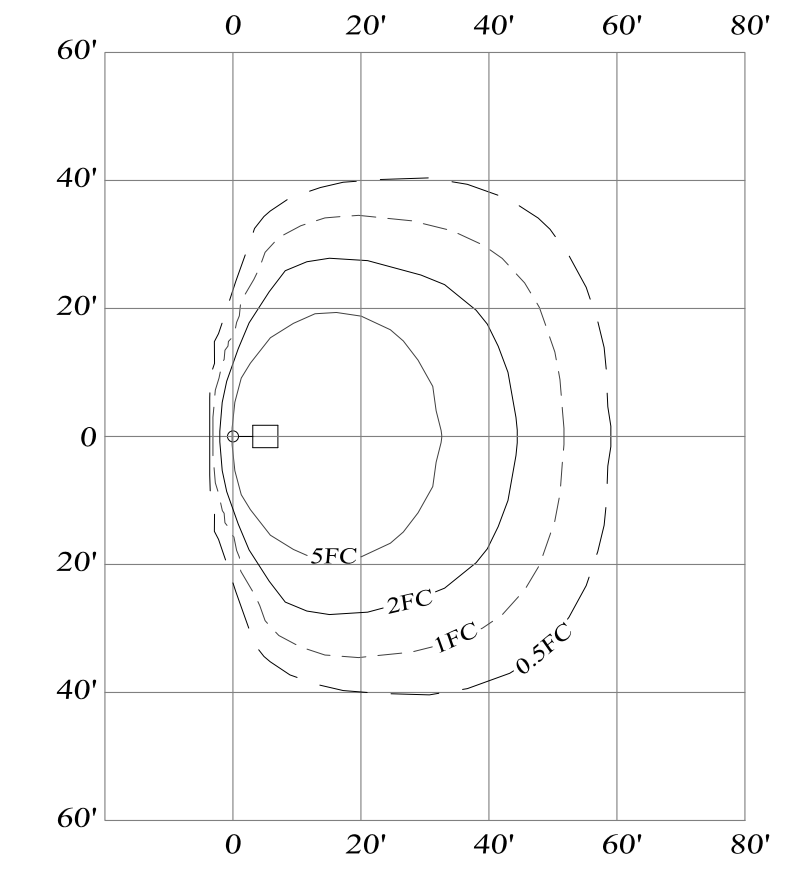
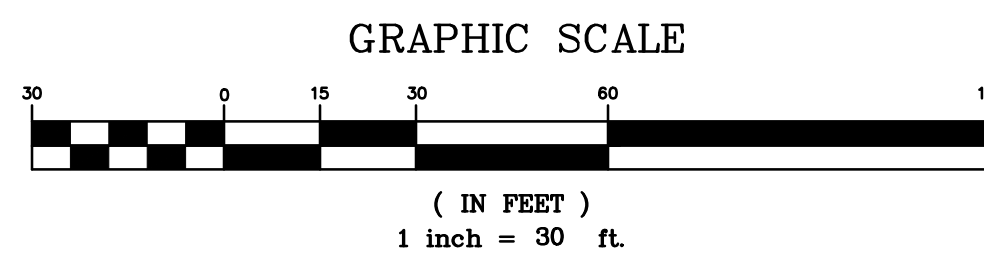
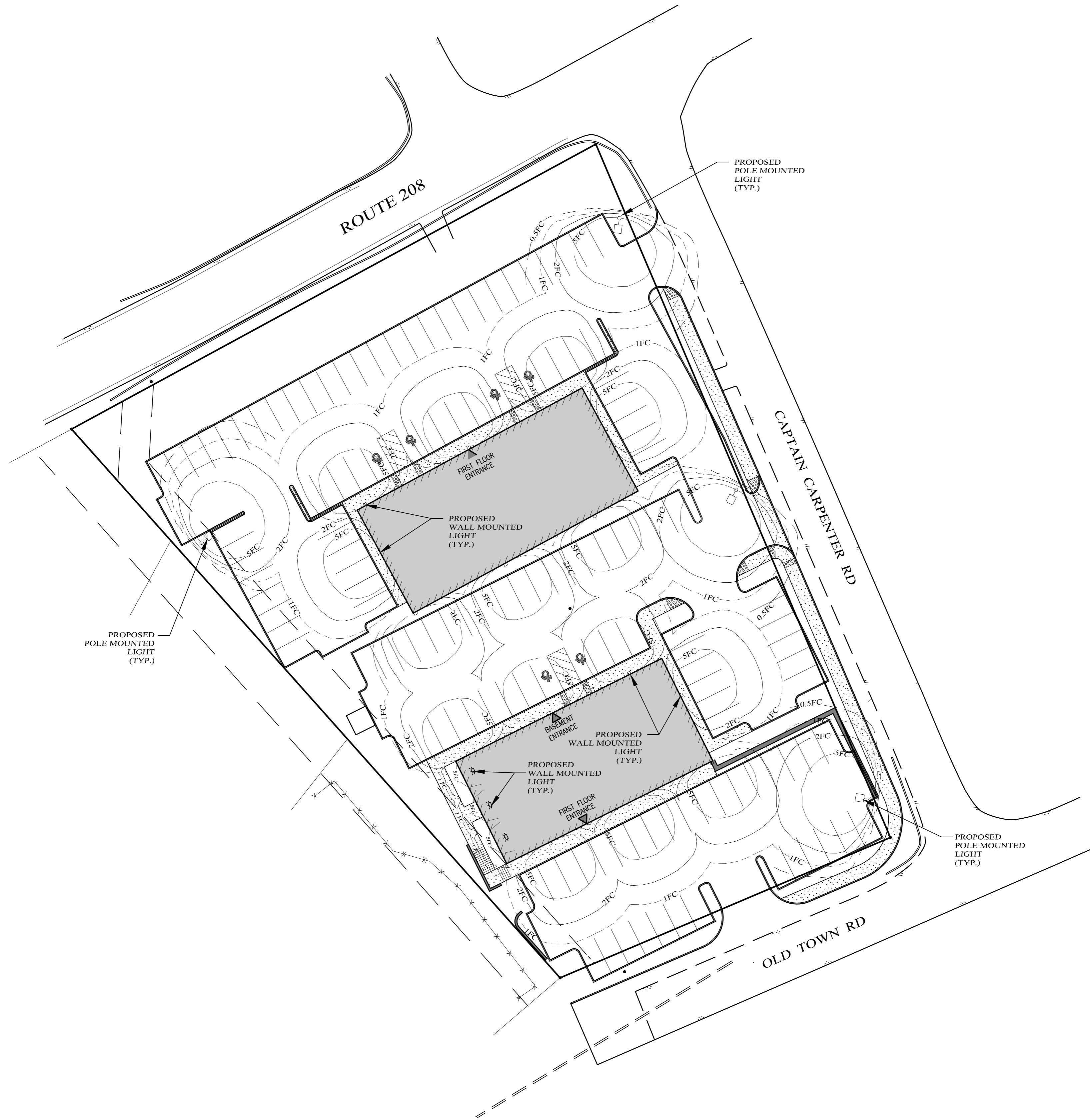
**LIGHTING NOTES:**  
 1. LIGHTING TO PROVIDE AN AVERAGE 10 FOOT-CANDLE LUMINESCENCE  
 IN ALL PEDESTRIAN AREAS  
 2. THERE SHALL BE NO SPILL OVER OF GLARE OUTSIDE PROPERTY LINE.  
 FIXTURES SHALL BE EQUIPPED WITH "HOUSE SIDE SHIELDS" TO  
 ESTABLISH A SHARP CUTOFF OF LIGHT BEHIND THE PROPOSED FIXTURE.



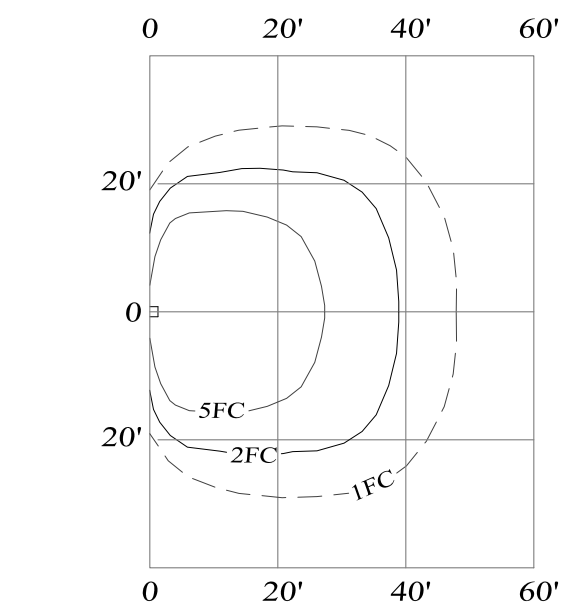
WALL PAK LED LIGHT FIXTURE  
 MODEL #SLIM 37N  
 AS MANUFACTURED BY RAB LIGHTING  
 NORTHVALE, NEW JERSEY,  
 OR EQUIVALENT.  
 EQUIVALENT FIXTURE MUST BE  
 "SHARP CUT-OFF TYPE" SO AS TO  
 PREVENT GLARE OVER BUILDINGS  
 OR OUTSIDE PROPERTY LINE.  
 ANCHORING AND WIRING  
 PER MANUFACTURER AND ALL  
 APPLICABLE CODES

1. ALL ELECTRICAL COMPONENTS TO BE AS SPECIFIED BY MANUFACTURER AND  
 INSTALLED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.  
 2. REFER TO LIGHTING PLAN FOR FIXTURE LOCATIONS.

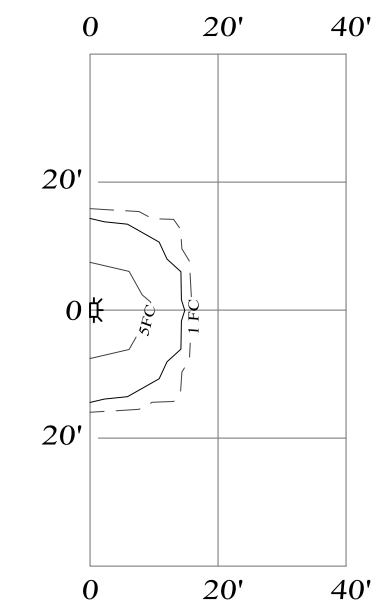
**WALL MOUNTED LIGHT DETAIL**  
 NOT TO SCALE



**POLE MOUNTED LIGHT 15' HIGH**  
**ISOMETRIC FOOTPRINT**  
 MODEL #ALED3T105YK (TYPE IV)  
 AS MANUFACTURED BY RAB LIGHTING, INC



**WALL MOUNTED LIGHT 15' HIGH**  
**ISOMETRIC FOOTPRINT**  
 MODEL #WPLED104Y  
 AS MANUFACTURED BY RAB LIGHTING, INC



**WALL MOUNTED LIGHT 15' HIGH**  
**ISOMETRIC FOOTPRINT**  
 MODEL #MODEL # SLIM 37N  
 AS MANUFACTURED BY RAB LIGHTING, INC

Lands of  
**822 ROUTE 208**  
 VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK  
 PROJECT TITLE SEC. 209 BLK. 1 LOT 1

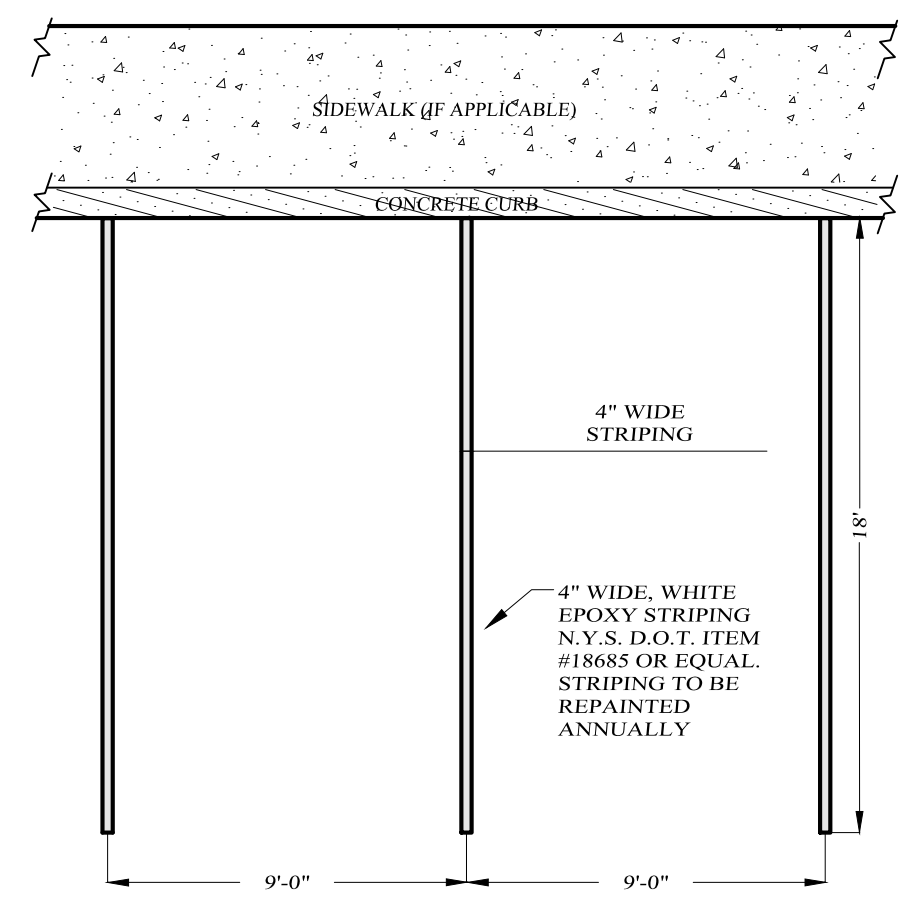
**LIGHTING PLAN**  
 DRAWING TITLE

**KIRK ROTHER, P.E.**  
 CONSULTING ENGINEER, PLLC  
 5 St. Stephens Lane, Warwick, NY 10990  
 (845) 988-0620

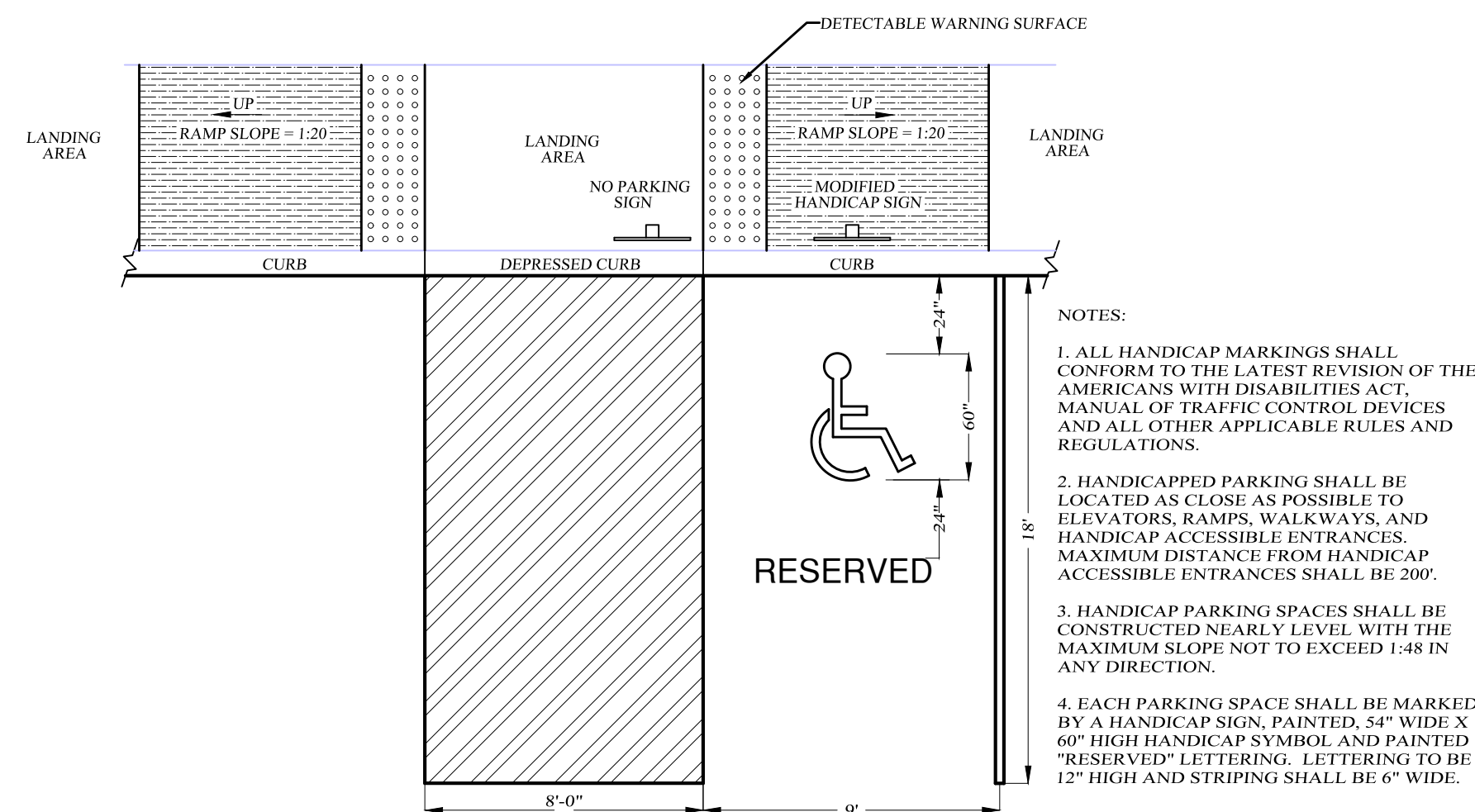
03-06-24	REV. BUILDING, PARKING LOT & DRAINAGE	D.O.T. SHEET #	N.A.	O.C.S.D. SHEET #	N.A.	SHEET #	6 OF 9
10-09-23	INITIAL PREPARATION	CAD #	822RTE208	PROJECT #	AS NOTED	SCALE	AS NOTED
DATE	REVISIONS	KIRK ROTHER, P.E. N.Y.S. LIC. NO. 079053		DATE			

03-06-24	REV. BUILDING, PARKING LOT & DRAINAGE	D.O.T. SHEET #	N.A.	O.C.S.D. SHEET #	N.A.	SHEET #	6 OF 9
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DATE	REVISIONS	KIRK ROTHER, P.E. N.Y.S. LIC. NO. 079053		DATE			

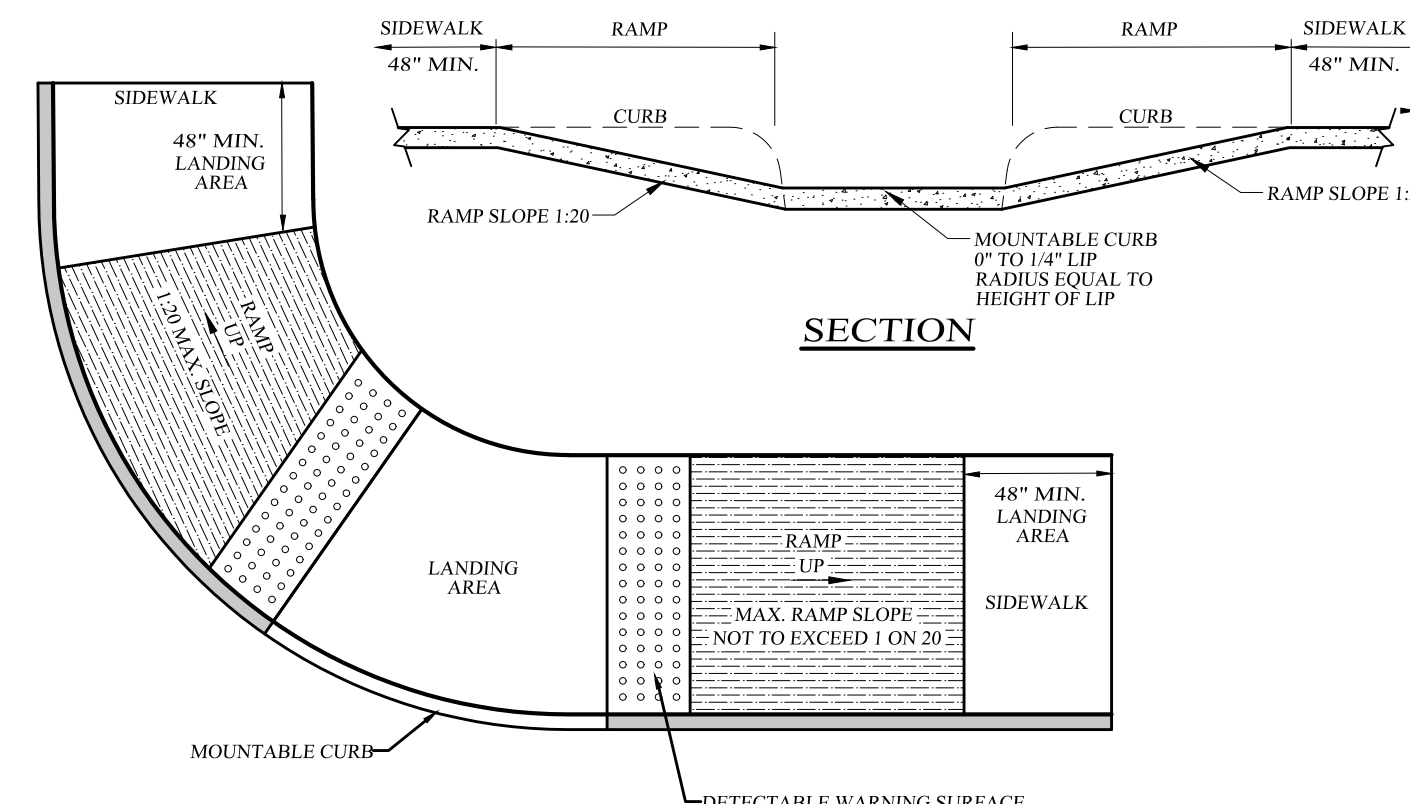
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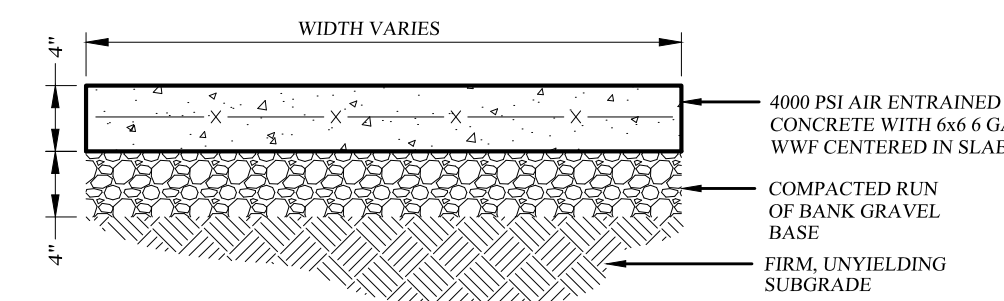
**PARKING SPACE STRIPING DETAIL**  
NOT TO SCALE



**HANDICAPPED PARKING DETAIL**  
NOT TO SCALE

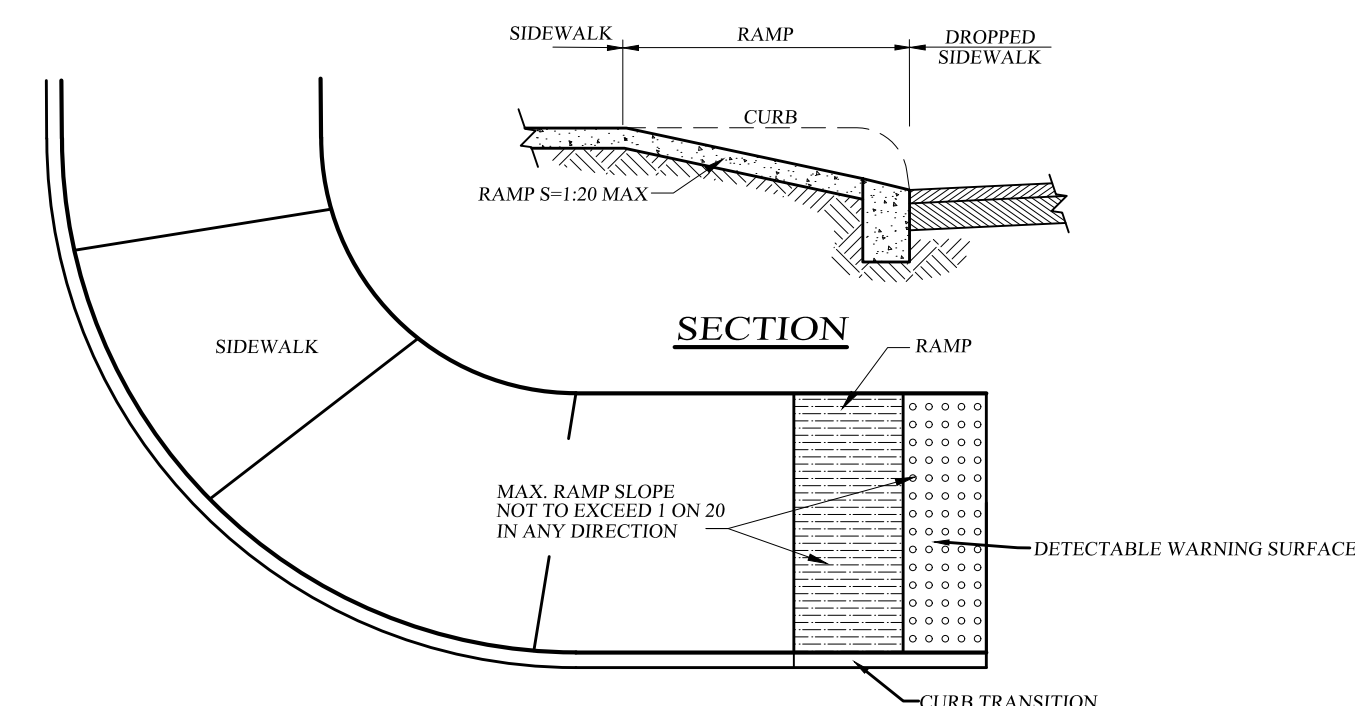


**DROPCURB HANDICAP ACCESSIBLE RAMP DETAIL**  
NOT TO SCALE



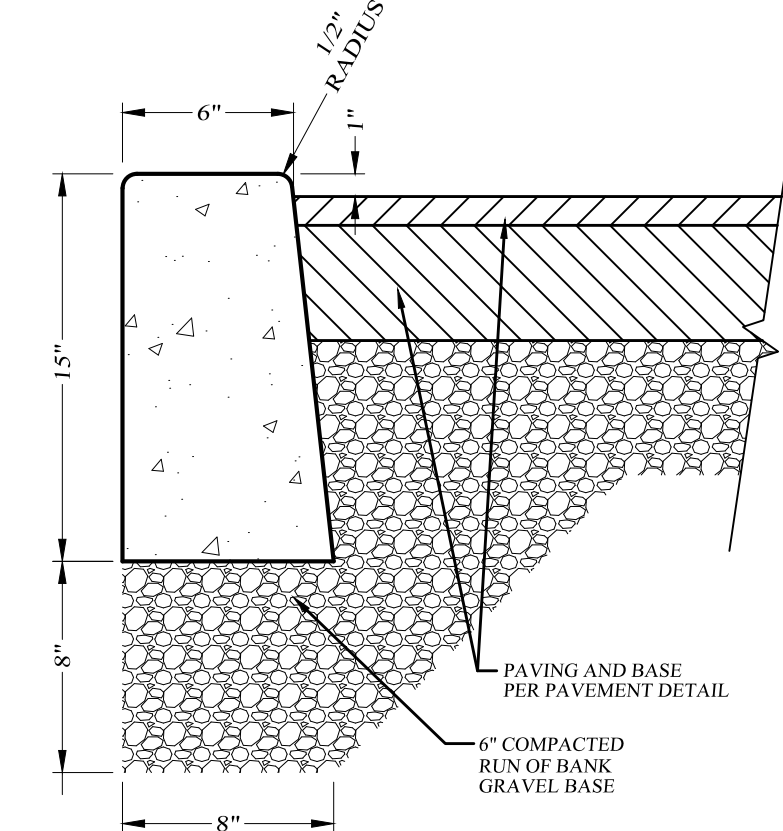
- NOTES:**
- SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
  - CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS SHALL BE INSTALLED 20 FOOT ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
  - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.
  - SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



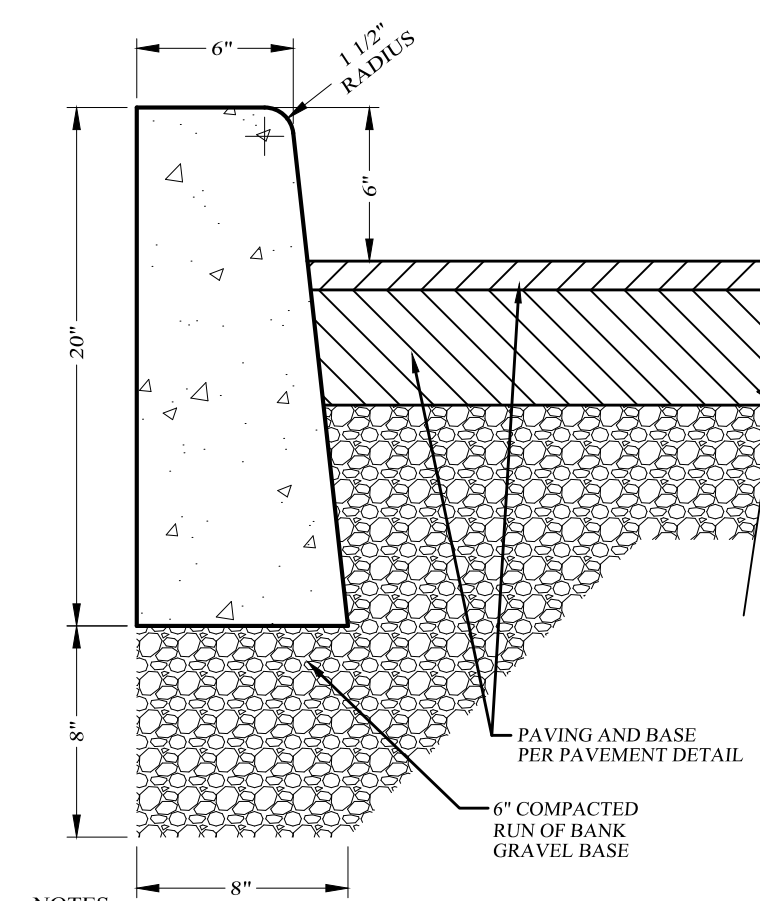
- NOTES:**
- CONSTRUCTION OF ALL HANDICAP ACCESSIBLE FEATURES SHALL CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.

**HANDICAP ACCESSIBLE RAMP DETAIL**  
NOT TO SCALE



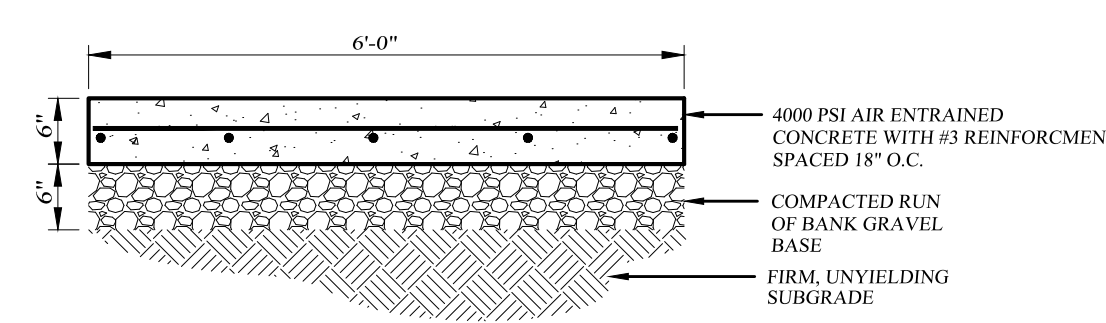
- NOTES:**
- CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
  - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.

**CONCRETE DROP CURB DETAIL**  
NOT TO SCALE



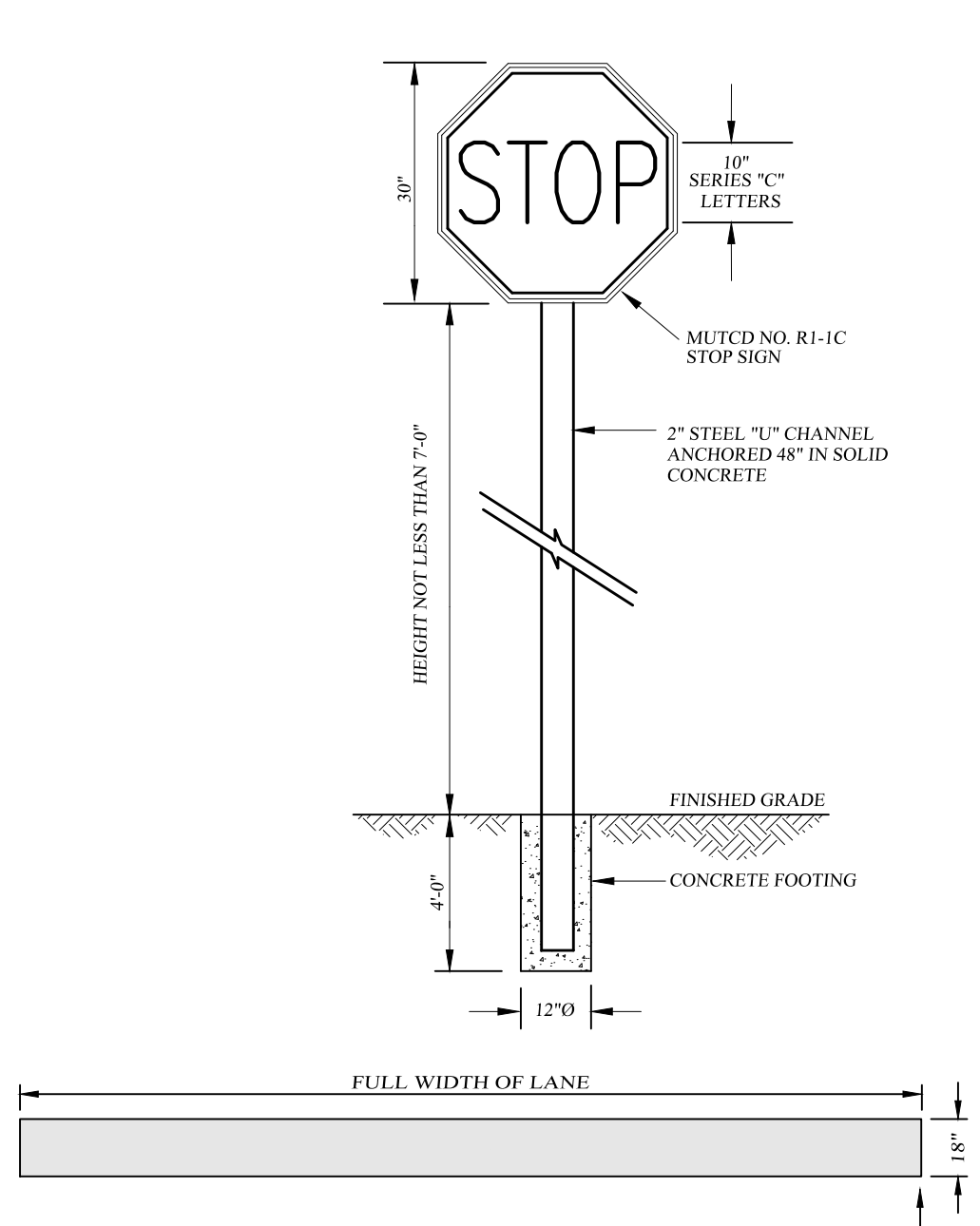
- NOTES:**
- CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
  - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.

**CONCRETE CURB DETAIL (WITHIN SITE)**  
NOT TO SCALE



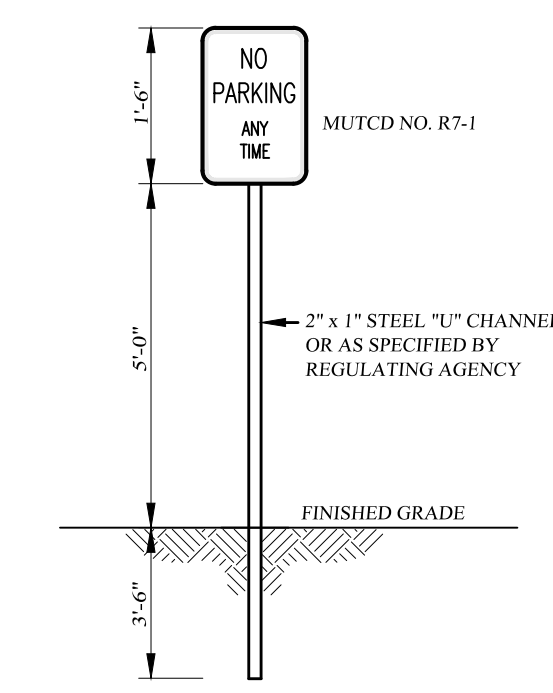
- NOTES:**
- SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
  - CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS SHALL BE INSTALLED 20 FOOT ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
  - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.
  - SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.

**CONCRETE SIDEWALK AT PARKING LOT ENTRANCE DETAIL**  
NOT TO SCALE

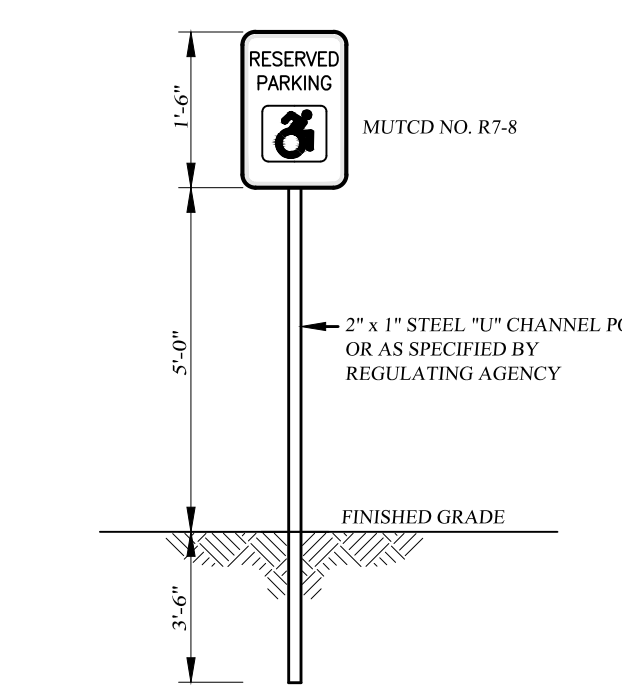


- NOTES:**
- INSTALLATION AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN SECTION 680 OF NYS DOT STANDARDS AND SPECIFICATIONS, LATEST REVISION.
  - PAVEMENT SURFACE TO BE CLEANED AND PREPARED PRIOR TO PLACEMENT OF PAVEMENT MARKINGS IN ACCORDANCE WITH SECTION 653 OF NYS DOT STANDARDS AND SPECIFICATIONS.
  - REFER TO APPROVED PLANS FOR ACTUAL LOCATION OF STOP LINE, SIZE AND LOCATION TO CONFORM TO MUTCD STANDARDS.
  - PAVEMENT MARKINGS TO BE WHITE MARKING PAINT.

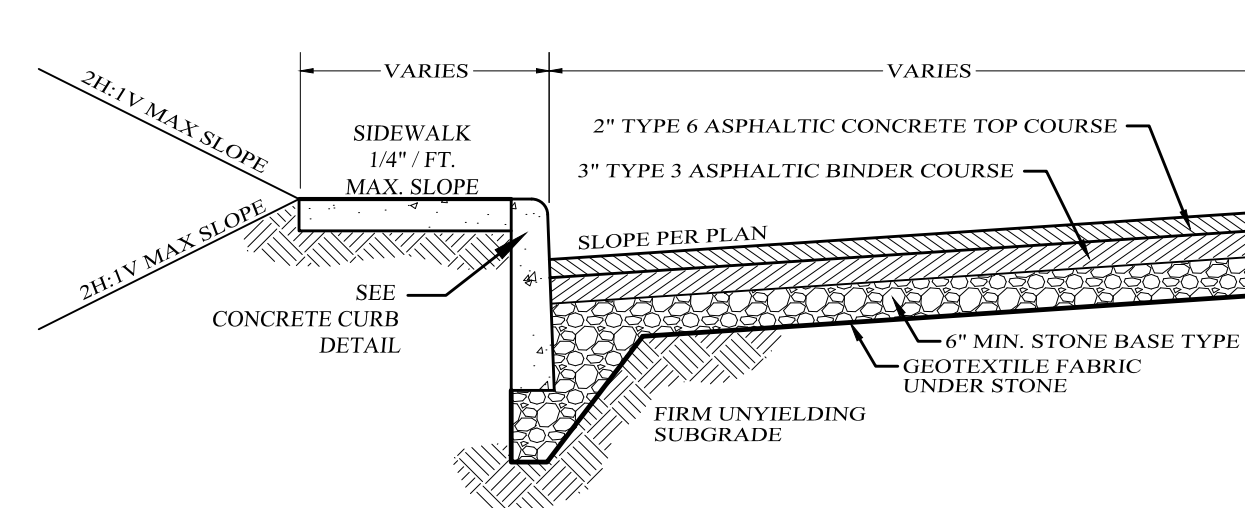
**STOP BAR AND SIGN DETAIL**  
NOT TO SCALE



**"NO PARKING" SIGN DETAIL**  
NOT TO SCALE



**"HANDICAP PARKING" SIGN DETAIL**  
NOT TO SCALE



**TYPICAL PAVEMENT SECTION PARKING LOTS & DRIVEWAYS**  
NOT TO SCALE

Lands of  
**822 ROUTE 208**  
VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK  
PROJECT TITLE SEC. 209 BLK. 1 LOT 1

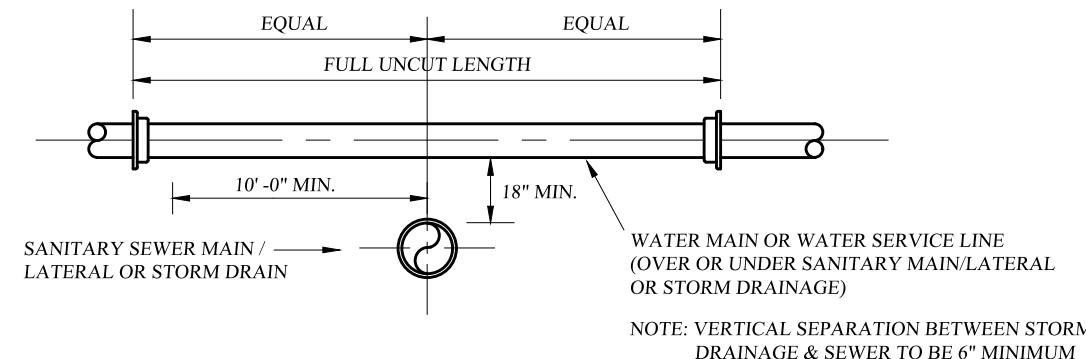
**SITE DETAILS**  
DRAWING TITLE

**KIRK ROTHER, P.E.**  
CONSULTING ENGINEER, PLLC  
5 St. Stephens Lane, Warwick, NY 10990  
(845) 988-0620

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
10-09-23	INITIAL PREPARATION			

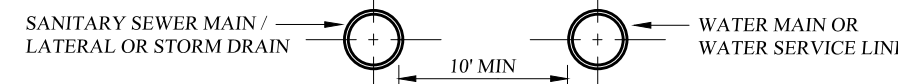
D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	7 OF 9

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**VERTICAL SEPARATION DETAIL**

NOT TO SCALE



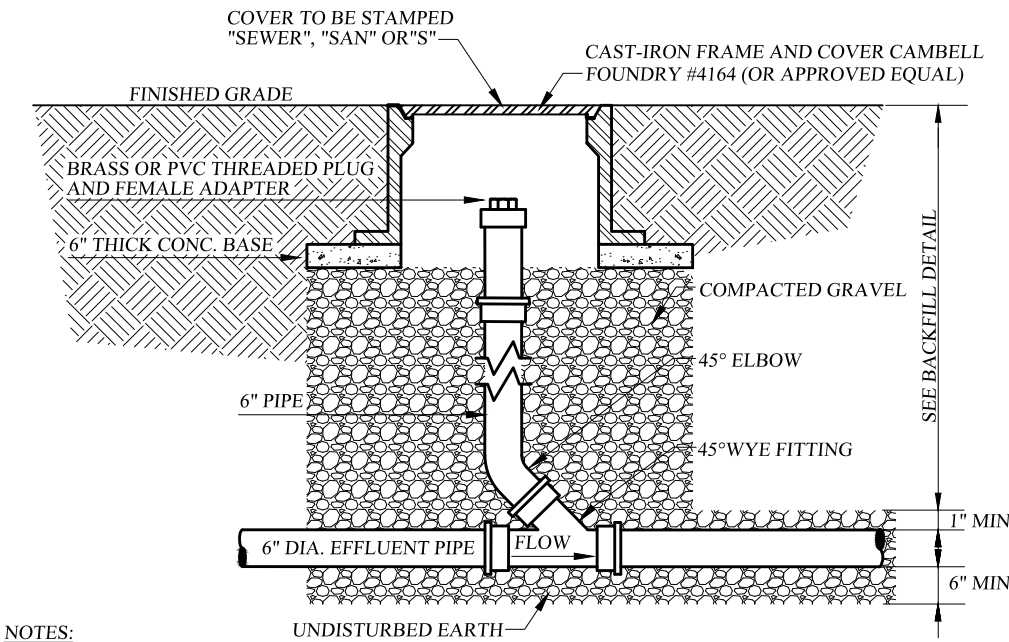
**HORIZONTAL SEPARATION DETAIL**

NOT TO SCALE

NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

**WATER/SEWER SEPARATION REQUIREMENTS**

NOT TO SCALE

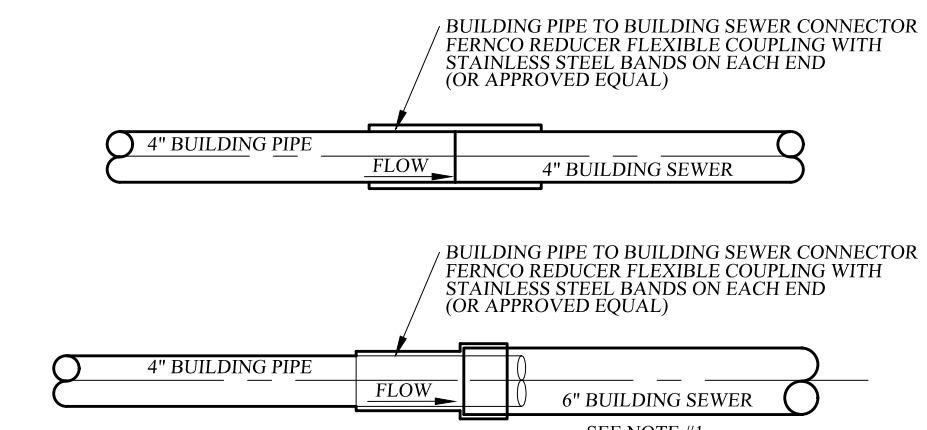


**NOTES:**

1. EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 7' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER APPROXIMATELY EVERY 100' (MAXIMUM). FOR THE PURPOSE OF CLEANOUT LOCATIONS, DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE BUILDING SEWER TO THE CENTER OF THE SEWER MAIN LINE (GENERALLY LOCATED IN THE CENTER OF THE STREET).
2. A CLEANOUT LOCATED IN A ROAD, DRIVEWAY OR PARKING AREA SHALL REQUIRE A CAMBELL FOUNDARY #164 CAST IRON FRAME AND COVER. (OR APPROVED EQUAL)

**BUILDING SEWER CLEAN-OUT DETAIL**

NOT TO SCALE

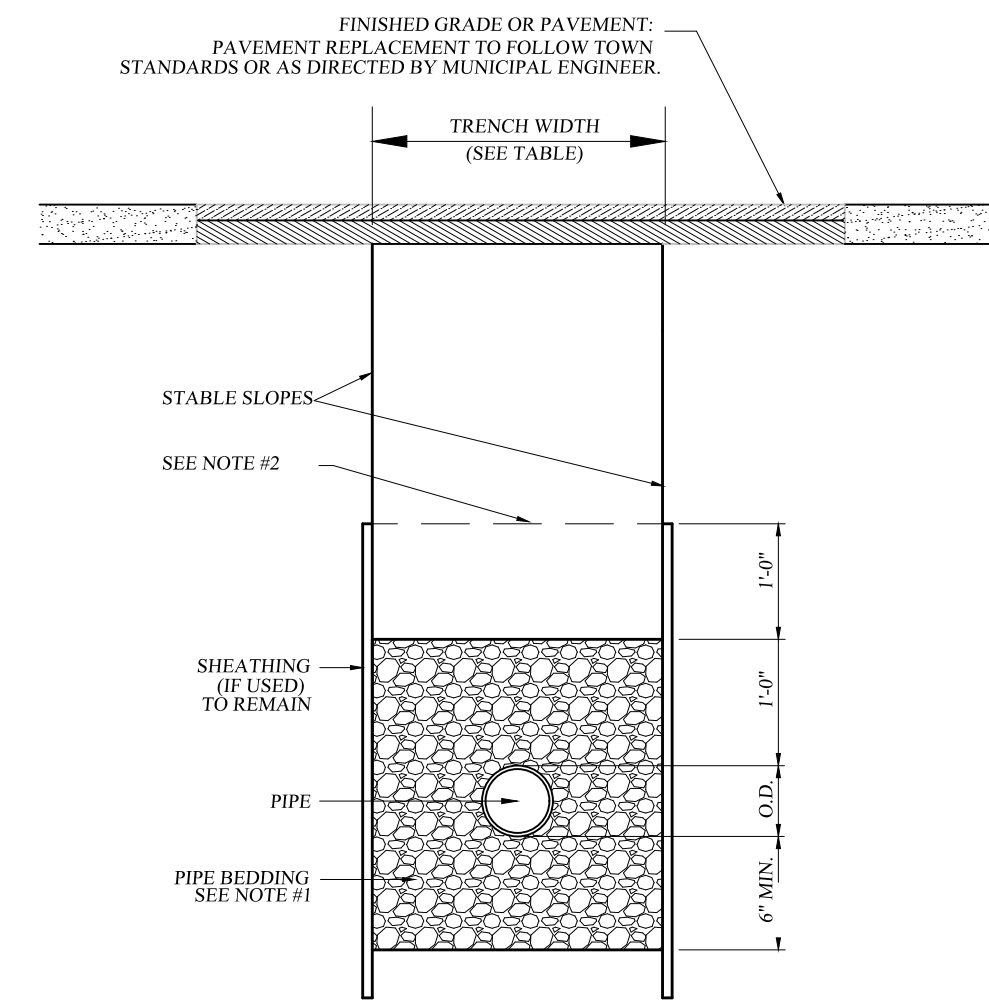


**NOTES:**

1. 4" BUILDING PIPE TO STUB APPROXIMATELY 6" INTO 6" BUILDING SEWER.
2. EACH 4" BUILDING SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY.
3. EACH 6" BUILDING SEWER SHALL BE REQUIRED FOR ALL COMMERCIAL USES AND SERVE NO MORE THAN TWELVE (12) EQUIVALENT LIVING UNITS, AS DETERMINED BY OCSD. (UNLESS A REQUESTED DEVIATION IS APPROVED IN WRITING BY OCSD NO.1)
4. BUILDING PIPE SHALL NOT EXCEED MORE THAN 10' FROM EXTERIOR OF BUILDING FOUNDATION.
5. 6" BUILDING PIPE TO 6" BUILDING SEWER SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYRAX COUPLING (OR APPROVED EQUAL).

**BUILDING PIPE TO BUILDING SEWER CONNECTION**

NOT TO SCALE



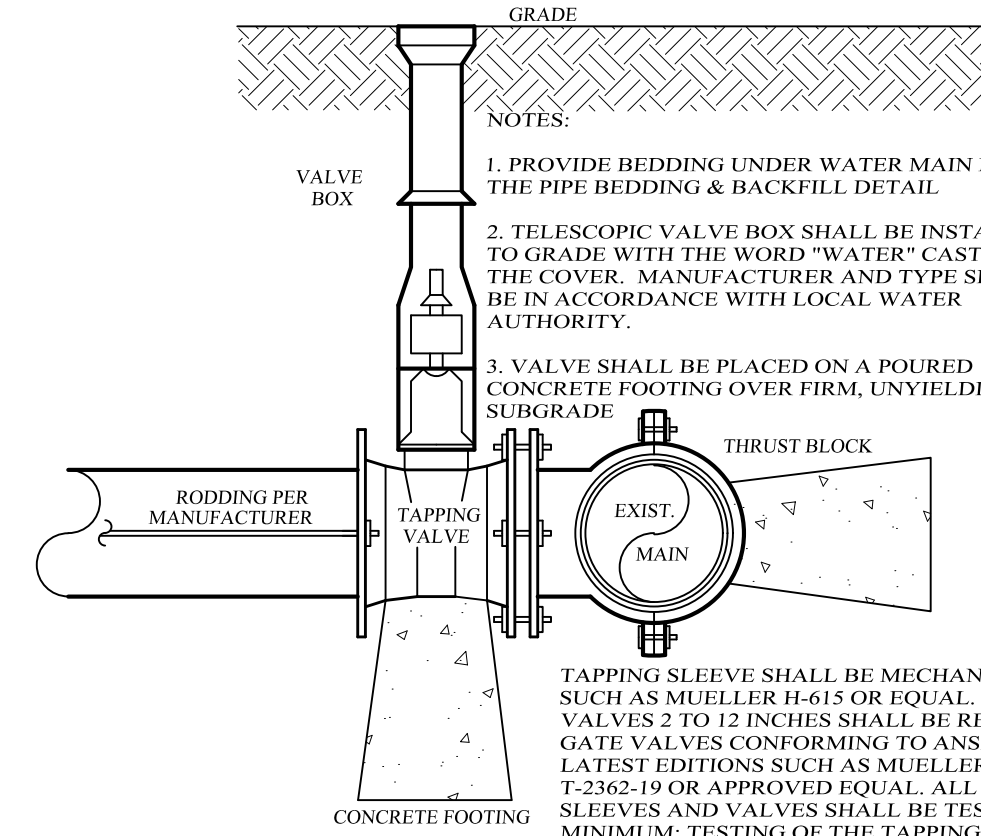
PIPE O.D.	TRENCH WIDTH
24" AND SMALLER	O.D. + 1'-4"
30" AND LARGER	O.D. + 2'-0"

**TYPICAL TRENCH DETAIL (SANITARY SEWER)**

NOT TO SCALE

**Notes:**

- 1) PIPE BEDDING SHALL BE A CLASS 1 ASTM D2321 EMBEDMENT MATERIAL THAT SHALL BE EITHER CRUSHED STONE OR WASHED GRAVEL PASSING A 3/4" SIEVE AND RETAINED ON A 3/8" SIEVE. THE EMBEDMENT MATERIAL SHALL BE HAND TAMPED AND COMPACTED TO 90% OF THE MAXIMUM DENSITY OF THE EMBEDMENT MATERIAL AS DETERMINED BY STANDARD PROCTOR TEST IN ACCORDANCE WITH AASHTO DESIGNATION T-99. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A GO-NO-GO TESTING GAUGE, AS DEFINED IN THE GREEN-TITE (TRADEMARK) PVC GRAVITY SEWER PIPE INSTALLATION GUIDE AS PUBLISHED BY J-M PIPE (OR APPROVED EQUAL) FOR TESTING DEFLECTION OF MAIN LINE SEWER PIPE, AS DIRECTED BY OCSD. MAXIMUM MAIN LINE SEWER DEFLECTION SHALL BE NO GREATER THAN 5%.
- 2) BACKFILL FROM 12 IN. TO 24 IN. ABOVE THE PIPE EMBEDMENT MATERIAL SHALL BE FINE EARTH FREE FROM CINDERS AND SHALL BE MECHANICALLY COMPACTED. REMAINING BACKFILL SHALL BE FREE FROM LARGE CLODS, NATURAL DEBRIS, ROCKS, AND CINDERS.
- 3) PLACE EMBEDMENT MATERIAL BY HAND AND HAND COMPACT UNDER AND AROUND SIDES OF PIPE. PLACE EMBEDMENT MATERIAL IN 6" LAYERS ABOVE TOP OF PIPE, AND HAND COMPACT TO A POINT 12 INCH MAXIMUM ABOVE THE TOP OF PIPE.
- 4) THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPETENT PERSON DURING ALL PHASES OF CONSTRUCTION WHOSE DUTY SHALL BE TO INSURE THAT ALL PHASES OF CONSTRUCTION ARE IN FULL COMPLIANCE WITH OCSD NO.1 SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES, CODES, RULES, REGULATIONS AND LAWS INCLUDING, BUT NOT LIMITED TO, UNITED STATES DEPARTMENT OF LABOR FOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION AND N.Y.S. DEPARTMENT OF LABOR FOR SECTION 1910.146 PERMIT REQUIRED CONFINED SPACE ENTRY, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION SECTION 1926.650 EXCAVATION GENERAL PROTECTION REQUIREMENTS AND OSHA SECTION 1926.651 TRENCHING AND SHORING, STATE OF NEW YORK UNIFORM FIRE PREVENTION AND BUILDING CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES.
- 5) ALL APPROVED MAIN LINE SEWER PIPE SHALL BE THE SAME MATERIAL FROM MAN-HOLE TO MAN-HOLE.
- 6) FILL SECTION AREA MUST BE GRADED WITH THE PLACEMENT OF SUITABLE SOIL MATERIAL, AS DETERMINED BY THE PROJECT SITE ENGINEER. IN 12" (MAX.) LAYERS COMPACTED TO 95% OF THE MAXIMUM DENSITY OF THE SOIL AS DETERMINED BY THE STANDARD PROCTOR TEST (AASHTO DESIGNATION T-99) TO 2" (MIN.) ABOVE TOP OF PIPE AT A MINIMUM WIDTH OF O.D. + 4'-0" BEFORE TRENCH EXCAVATING.
- 7) WHERE ROCK IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT MUST BE MADE BETWEEN 12" MIN. TO 24" MAX.
- 8) WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT TO SUITABLE MATERIAL (AS APPROVED BY TOWN ENGINEER).



**WATER MAIN TAPPING VALVE DETAIL**

NOT TO SCALE

Lands of  
**822 ROUTE 208**  
VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK  
PROJECT TITLE SEC. 209 BLK. 1 LOT 1

**SANITARY  
DETAILS**

DRAWING TITLE

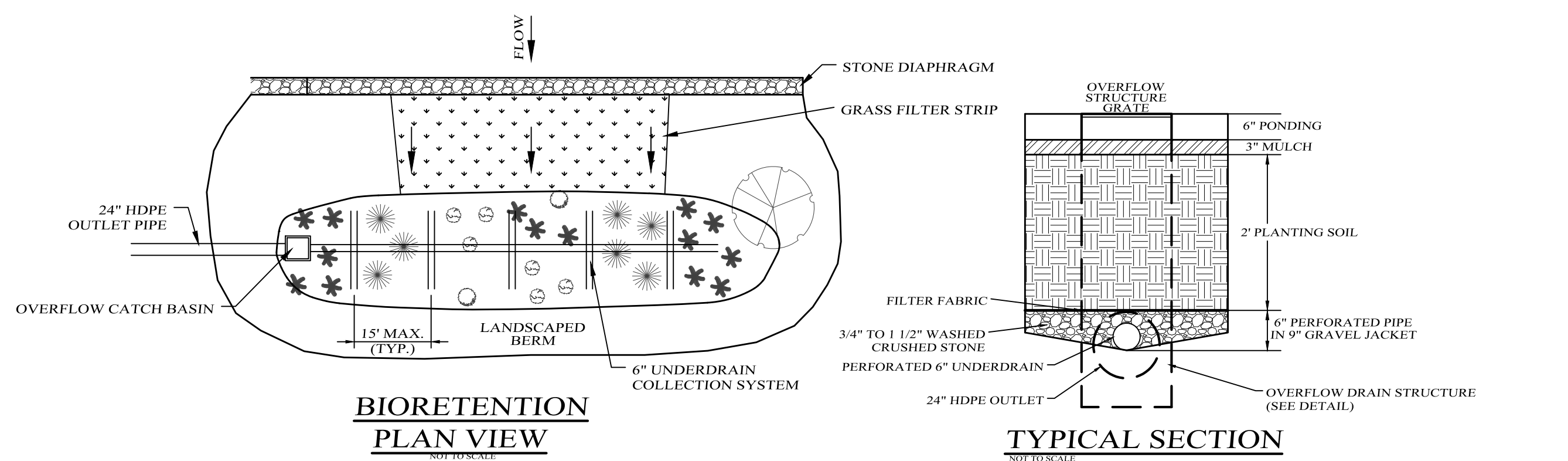
**KIRK ROTHER, P.E.**  
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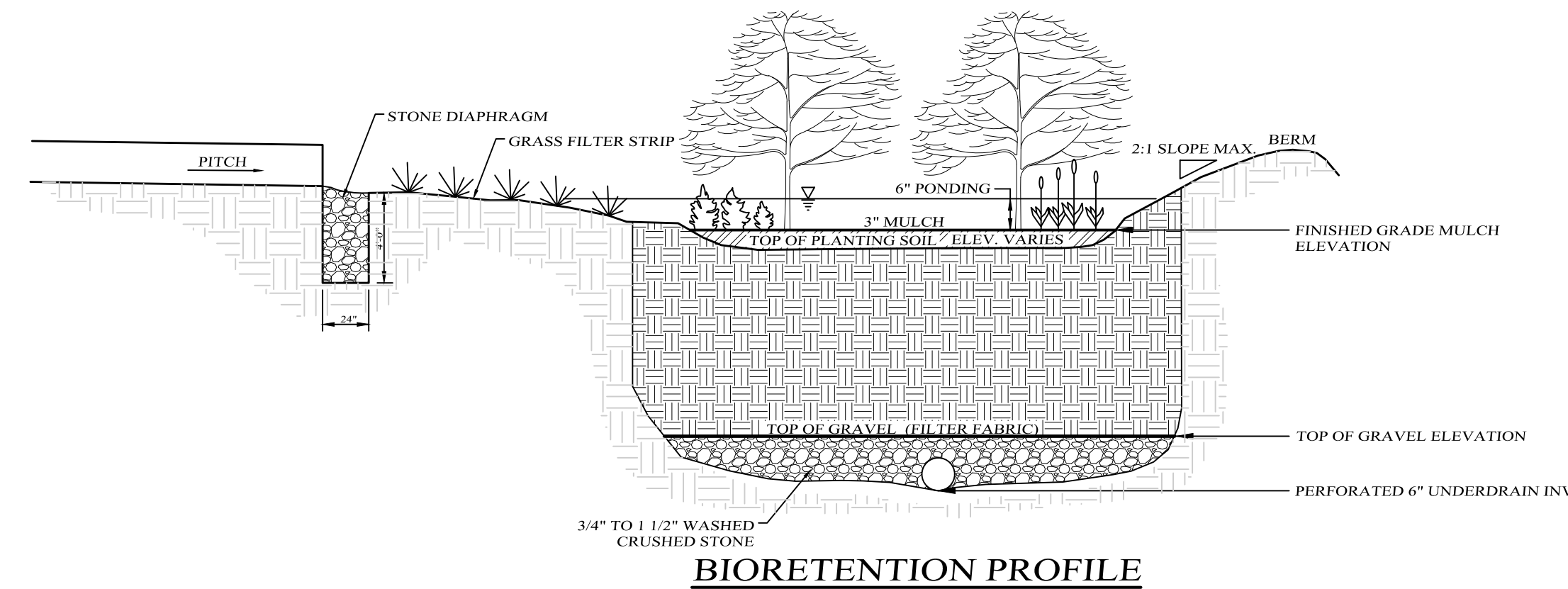
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**BIORETENTION PLAN VIEW**  
NOT TO SCALE

**TYPICAL SECTION**  
NOT TO SCALE



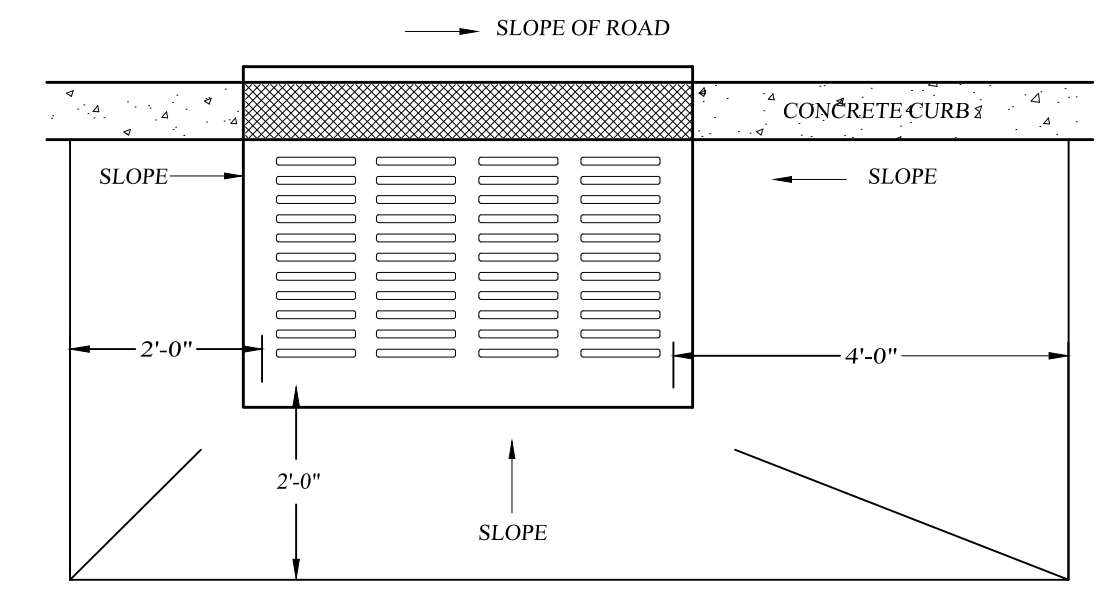
**BIORETENTION PROFILE**  
NOT TO SCALE

**BIORETENTION AREA PLANTING SCHEDULE**

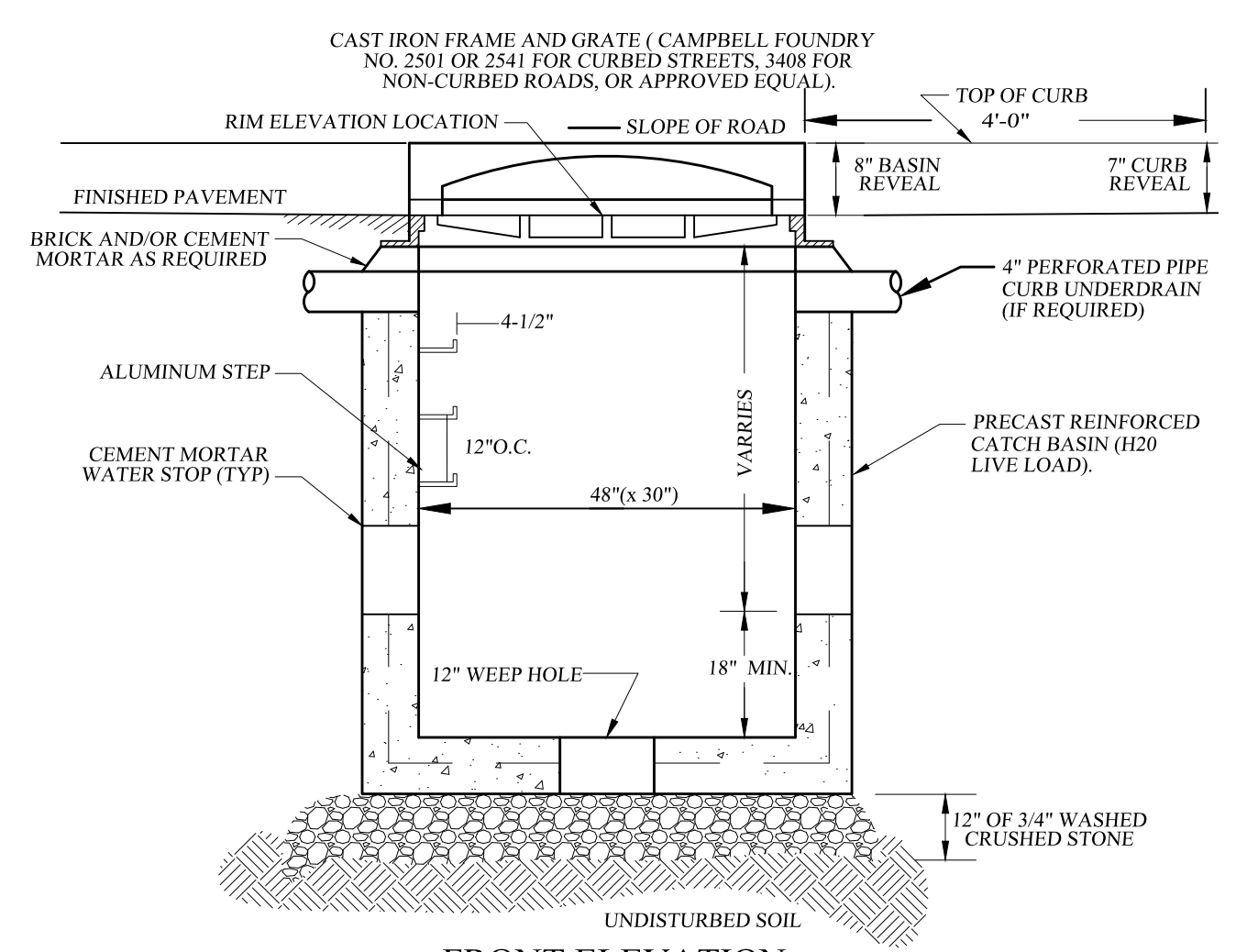
SYMBOL	PLANT NAME	SCIENTIFIC NAME	SIZE	SPACING
	Red Maple	Acer rubrum	B & B 2-1/2" TO 3" CALIPER	15' O.C.
	Tupelo	Nyssa sylvatica var	B & B 5'-6" IN HEIGHT	10' O.C.
	Red-Osier Dogwood	Cornus stolonifera	2 GAL.	4' O.C.
	Sweet Pepperbush	Clethra alnifolia	2 GAL.	6' O.C.
	Fox Sedge	Carex vulpinoidea	2 GAL.	2' O.C.
	MULCH		6" High	

**NOTES:**

- A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER THE CONTRIBUTING PERVIOUS DRAINAGE AREAS BEFORE RUNOFF CAN BE ACCEPTED.
- LANDSCAPING SHALL FOLLOW THE APPROVED PLANS OR A PLAN MUST BE PROVIDED BY A LANDSCAPE ARCHITECT FOR ALL BIORETENTION AREAS.
- PLANT MATERIALS SHOULD CONFORM TO THE AMERICAN STANDARD NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHOULD BE SELECTED FROM CERTIFIED, REPUTABLE NURSERIES.
- SILT/SEDIMENT SHALL BE REMOVED FROM THE FILTER BED WHEN ACCUMULATION EXCEEDS ONE INCH.
- WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED IN AN ACCEPTABLE MANNER (i.e. LANDFILL) AND REPLACED WITH FRESH MATERIAL.
- AREAS DEVOID OF MULCH SHALL BE RE-MULCHED ANNUALLY.
- DEAD OR DISEASED PLANTS SHALL BE REMOVED AND REPLACED AS NECESSARY.
- GRASS AROUND BIORETENTION AREA SHALL BE MOWED A MINIMUM OF 3 TIMES PER YEAR TO MAINTAIN MAX. GRASS HEIGHT OF 12"
- FILTERBED AREA SHALL BE INSPECTED FOR SAND BUILD-UP FOLLOWING THE SPRING MELT EVENT.
- THE MULCH LAYER SHOULD BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE, SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHOULD BE WELL AGED (STOCKPILED OR STORED FOR AT LEAST 12 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL, ROOTS, ETC. THE MULCH SHOULD BE APPLIED TO A MAXIMUM DEPTH OF THREE INCHES. GRASS CLIPPINGS SHOULD NOT BE USED AS A MULCH MATERIAL.



**PLAN**



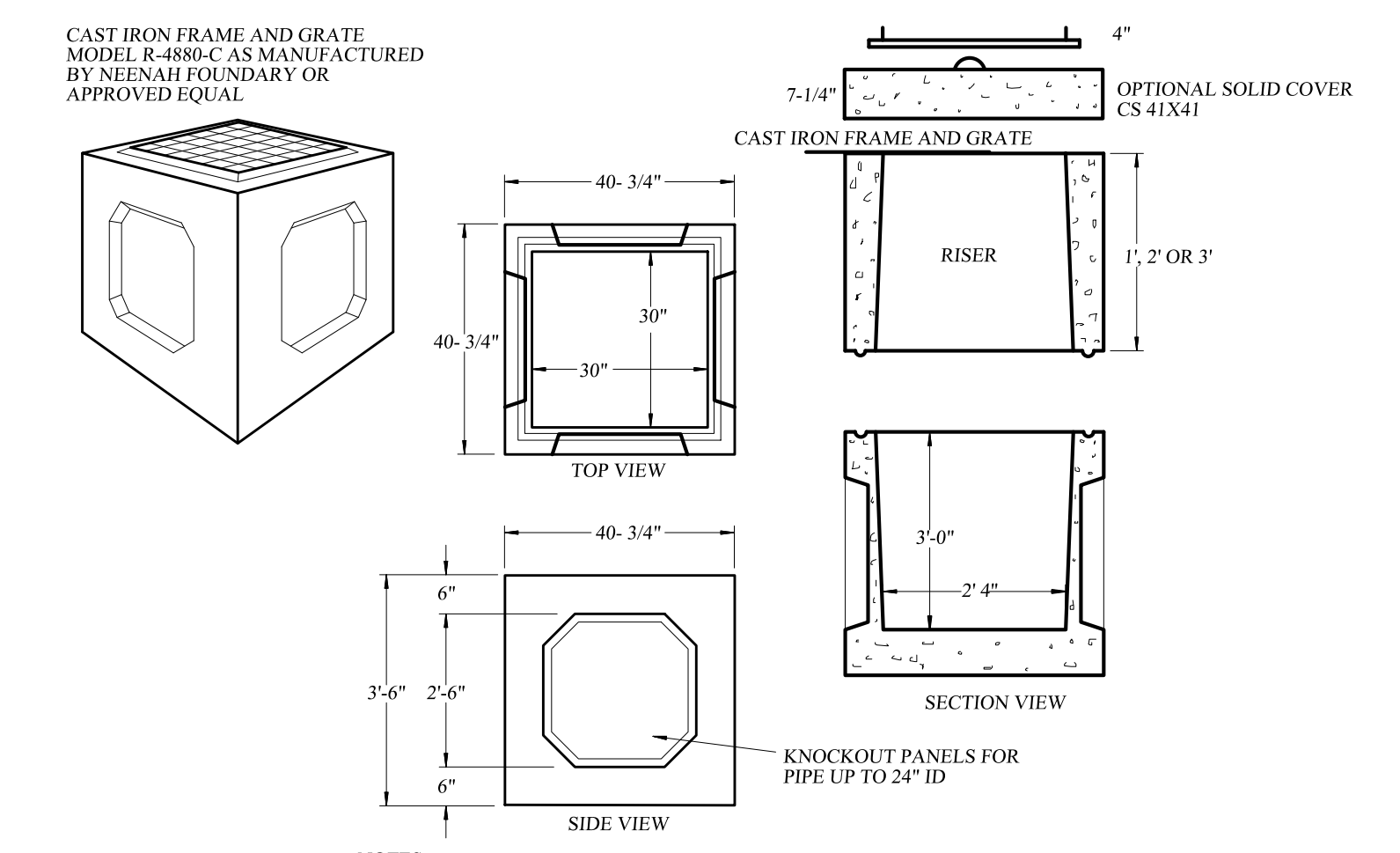
**FRONT ELEVATION**

**NOTES:**

- BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX. 8" LIFTS.
- THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF CATCH BASIN AND ADEQUATELY MORTARED.
- PRECAST CONCRETE TO BE 4000 PSI @ 28 DAYS

**PRECAST CONCRETE CURB INLET DETAIL**

NOT TO SCALE

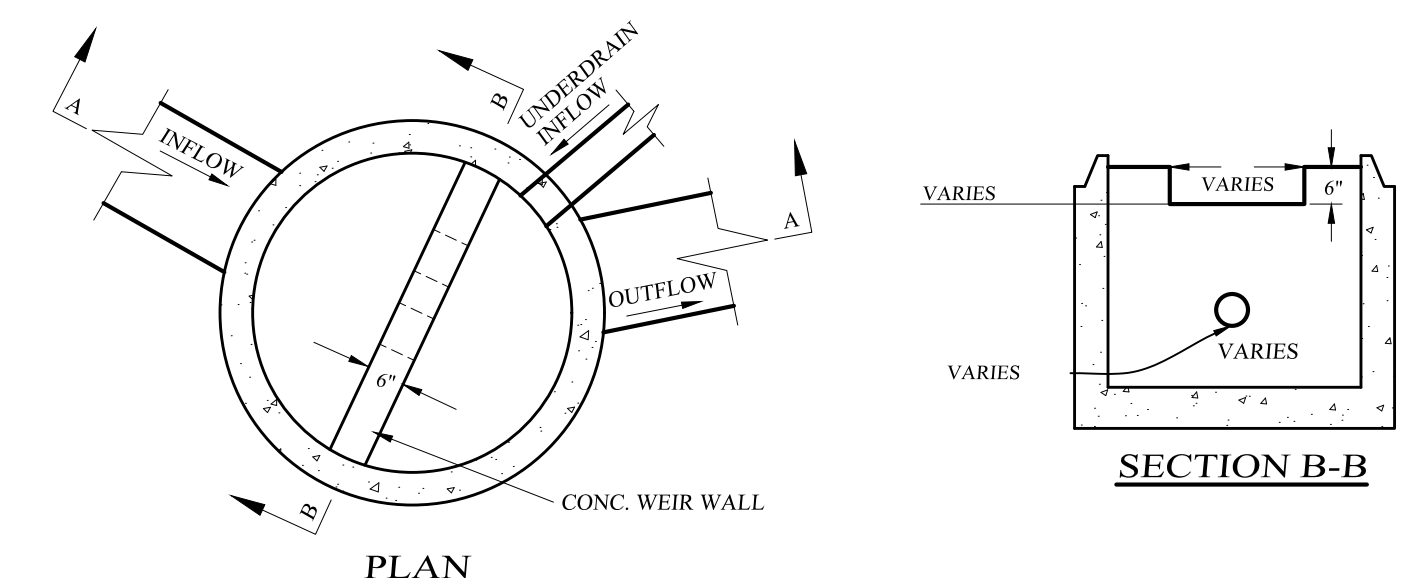


**NOTES:**

- BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX. 8" LIFTS.
- THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF CATCH BASIN AND ADEQUATELY MORTARED.
- PRECAST CONCRETE TO BE 4000 PSI @ 28 DAYS

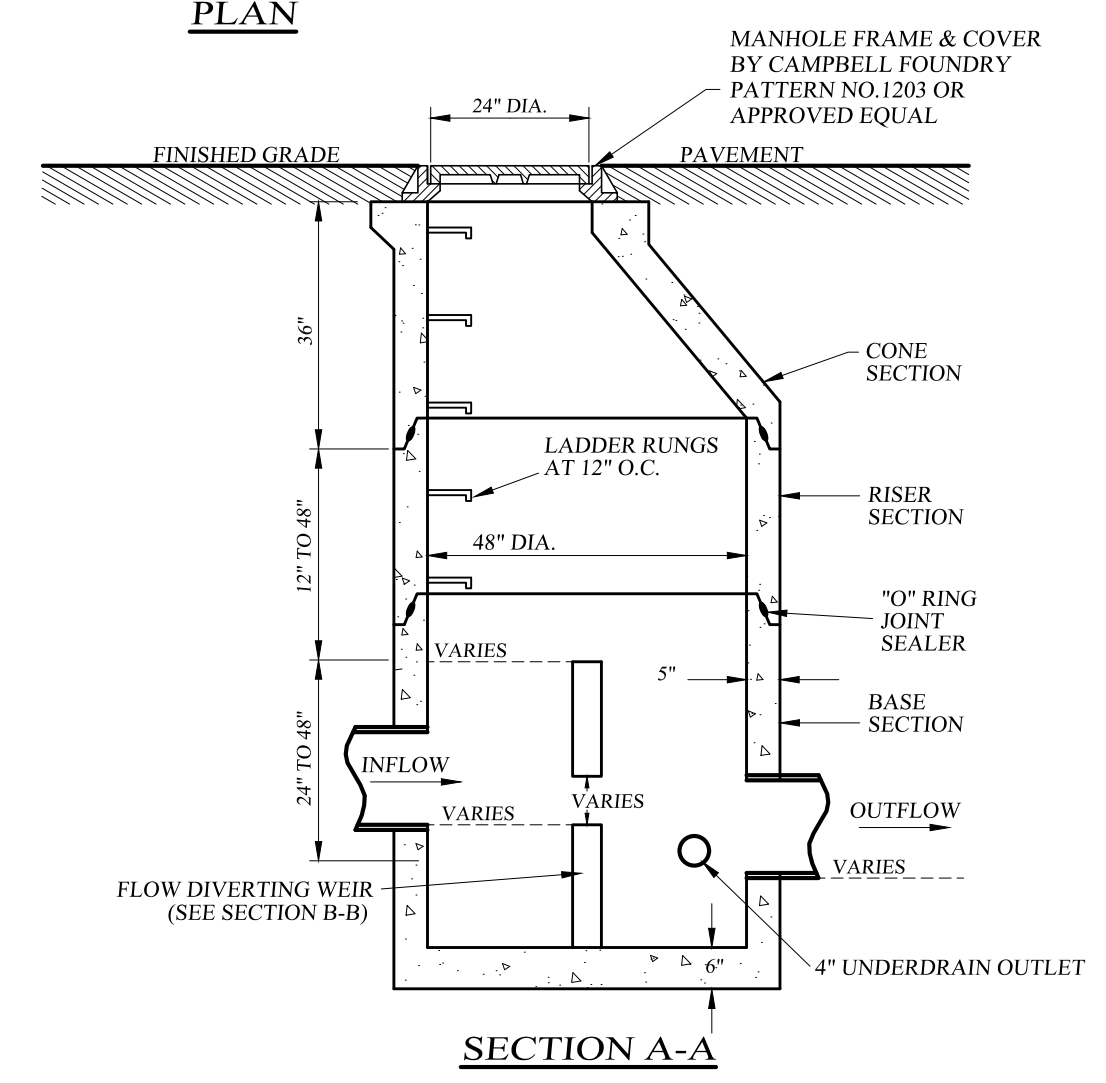
**PRECAST CONCRETE FIELD INLET DETAIL**

NOT TO SCALE



**PLAN**

**SECTION B-B**

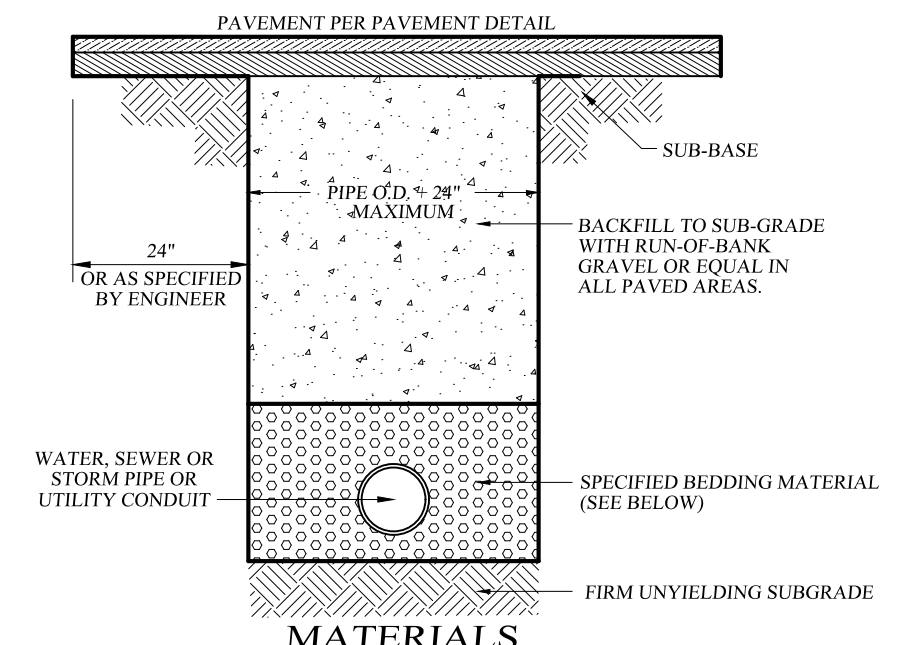


**SECTION A-A**

MANHOLES SHALL BE PLACED DIRECTLY ON UNDISTURBED NATURAL SOIL OR A MAXIMUM OF 1' OF SAND IF NEEDED TO ACHIEVE PROPER ELEVATION.  
PRECAST CONCRETE MANHOLE; MFG. BY MODERN CONCRETE SEPTIC TANK CO. OR APPROVED EQUAL.

**O.C.S. DRAINAGE MANHOLE C-2B**

NOT TO SCALE

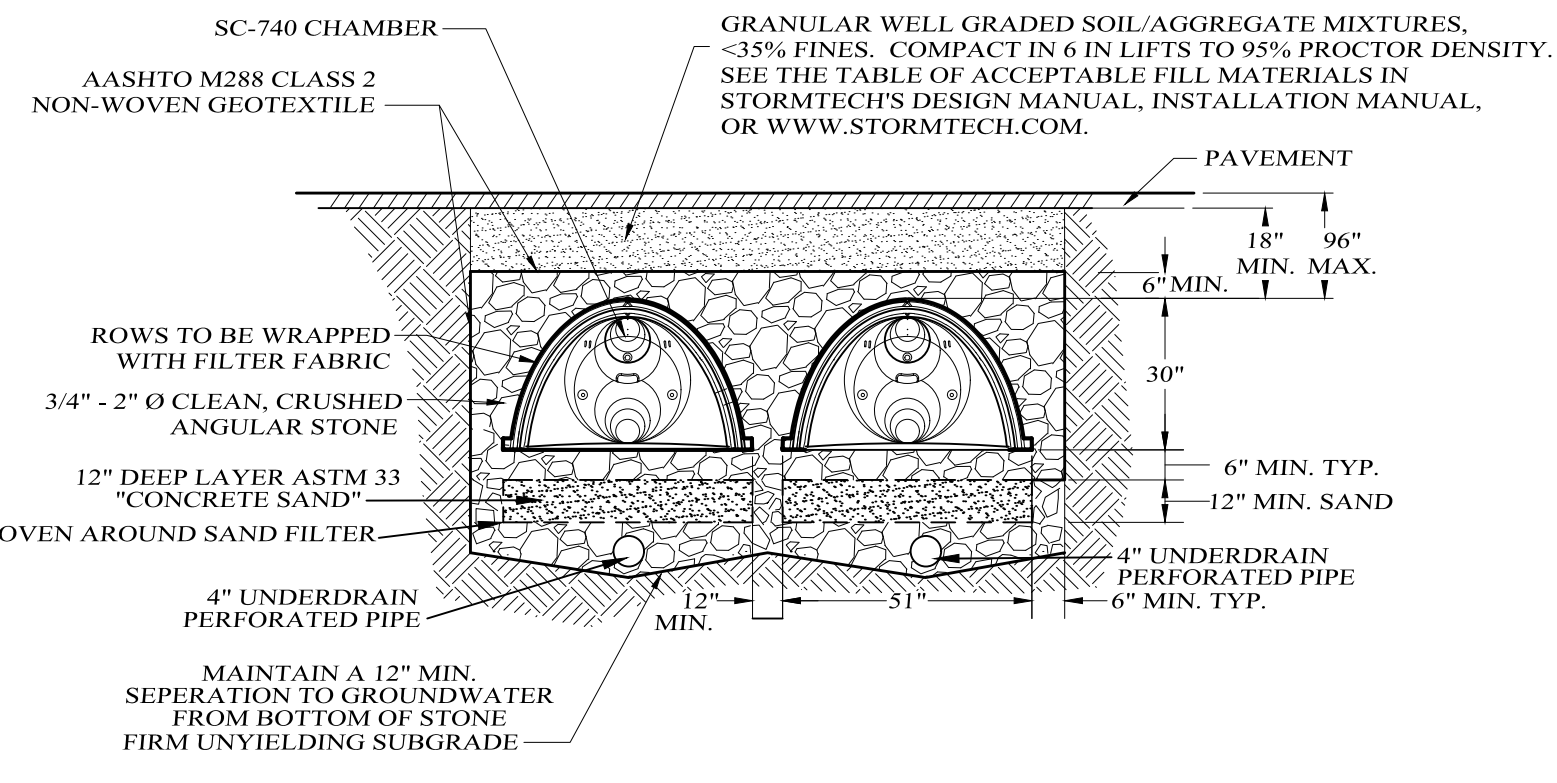


**MATERIALS**

- PIPE ZONE BEDDING MATERIAL:
- WATER MAINS: SAND OR RUN-OF-BANK GRAVEL, AS APPROVED BY SOILS ENGINEER.
  - SEWER MAINS: 1/4" CRUSHED STONE.
  - STORM SEWER: ON-SITE MATERIAL FREE OF STONE, CLAY, FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER OR NYS DOT ITEM #4.
- PIPE ZONE BACKFILL MATERIAL:
- WATER MAINS: ON-SITE MATERIAL FREE OF STONE, CLAY FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER.
  - SEWER MAINS: 1/4" CRUSHED STONE.
  - STORM SEWER: ON-SITE MATERIAL FREE OF STONE, CLAY, FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER OR NYS DOT ITEM #4.

**PIPE BEDDING AND BACKFILL DETAIL**

NOT TO SCALE



**TYPICAL SECTION**

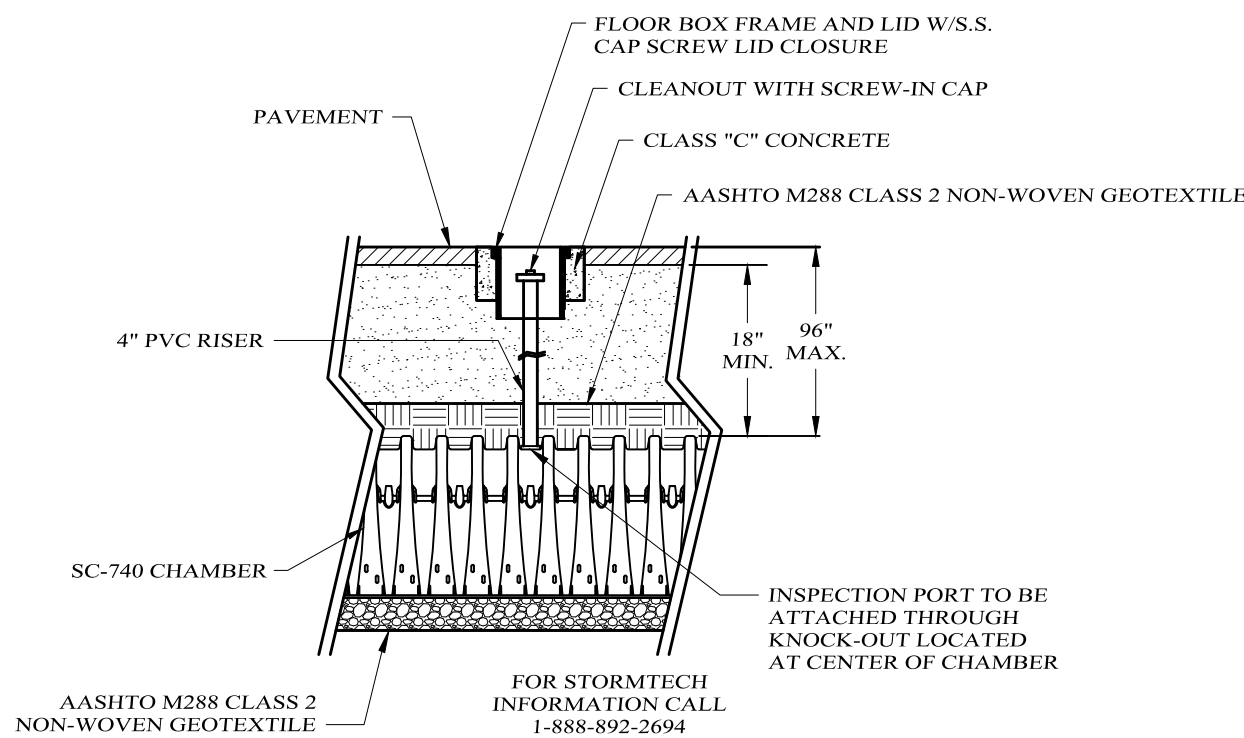
**NOTES:**

- REFER TO STORMTECH'S DESIGN MANUAL AND INSTALLATION MANUAL FOR DETAILED INSTALLATION INSTRUCTIONS.
- CHAMBERS SHALL BE INSTALLED AT 0.00% SLOPE AND END CAPPED.
- STONE SHALL BE 3/4" TO 2" DIAMETER CLEAN, CRUSHED STONE.

**STORMTECH SC-740 SUBSURFACE STORMWATER MANAGEMENT CHAMBERS WITH SANDFILTER**

**DETAIL**

NOT TO SCALE



**INSPECTION PORT DETAIL**

NOT TO SCALE

Lands of  
**822 ROUTE 208**  
VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK  
PROJECT TITLE  
SEC. 209 BLK. 1 LOT 1

**DRAINAGE DETAILS**

DRAWING TITLE

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