

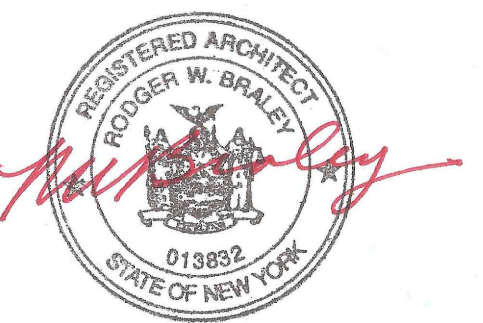
PROPOSED HOUSE FOR:

THE WEISS AND HERSHKOWITZ FAMILIES

26 HAWTHORNE DRIVE
VILLAGE OF SOUTH BLOOMING GROVE ,
Orange County New York

THE MAJOR DESIGNER
89 JEFFERSON ST.
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Email: majorwithing@gmail.com

PLANS REVIEWED AND SUPERVISED BY:
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NYS LIC. NO. 013-832
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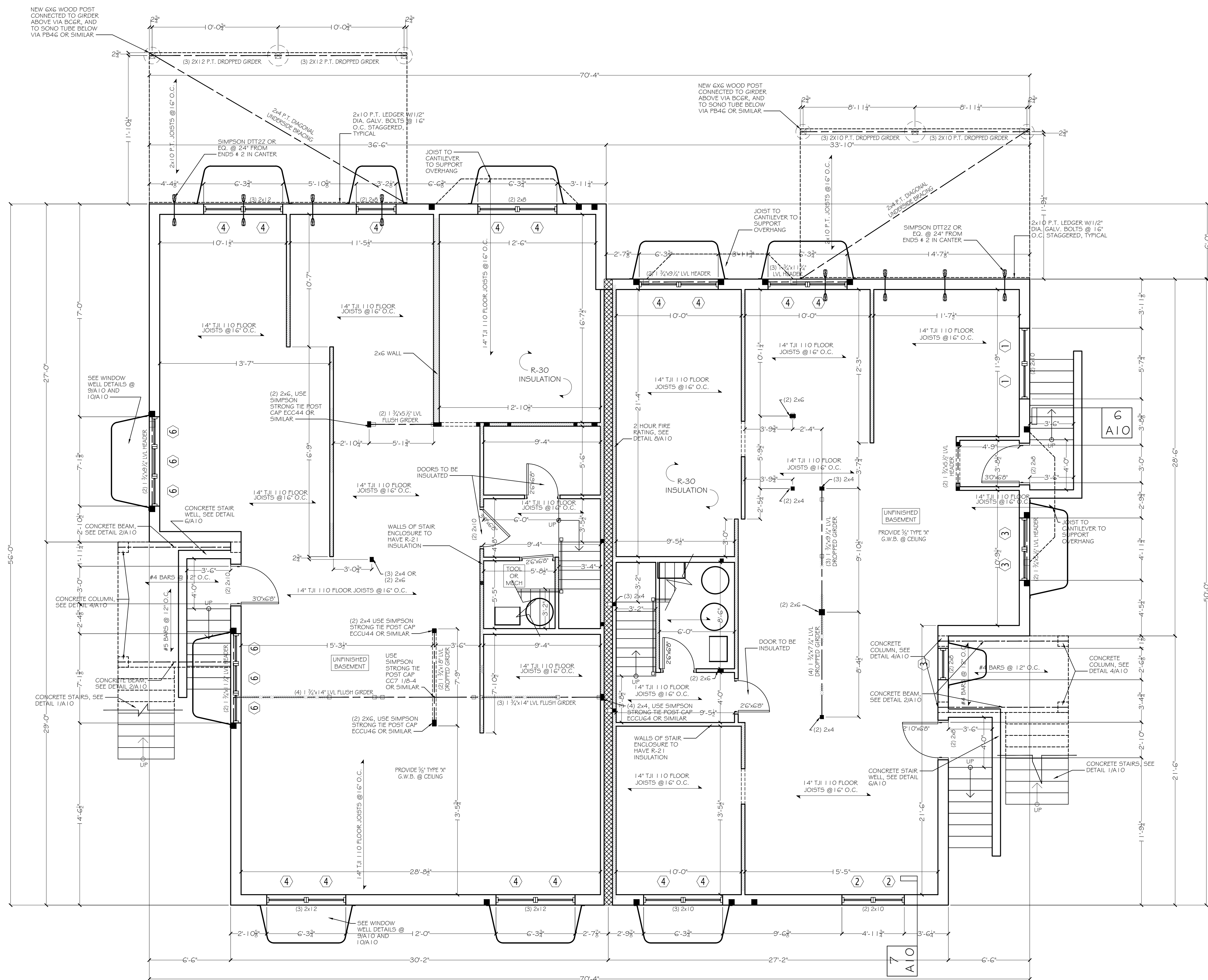
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (PSF)	REQD
EXTERIOR BALCONIES	50
DECKS	40
PASSENGER VEHICLE GARAGES	50
ATTICS WITHOUT STORAGE	10
ATTICS WITH STORAGE	20
ROOMS OTHER THAN SLEEPING	40
SLEEPING ROOMS	30
STAIRS	40
STAIR TREADS	300
GUARDS AND HANDRAILS	200
ROOF LOAD	45

TABLE 301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATAGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	115 MPH				CATAGORY B	SEVERE	42"	MODERATE TO HEAVY	10	YES	NONE	1500	6063

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SCALE AS NOTED



- WALL LEGEND**
- 1" FOUNDATION
 - 2X4 INTERIOR WALL, FINISH BOTH SIDES
 - BEARING WALL
 - WOOD POST IN WALL USING (2) 2X_5 UNLESS NOTED OTHERWISE
 - POINT LOAD FROM ABOVE

1 BASEMENT PLAN
A2 SCALE: 1/4" = 1' 0"

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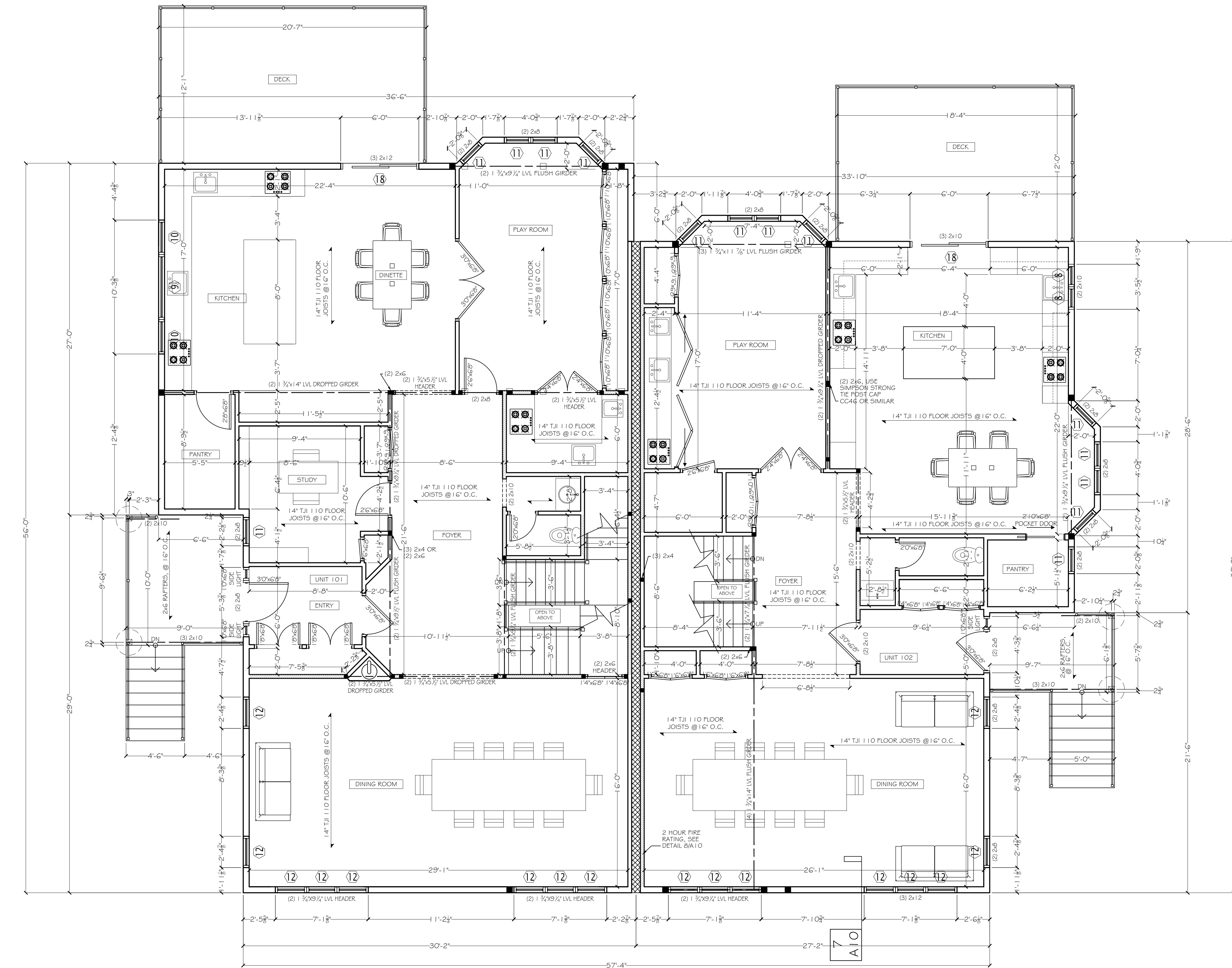
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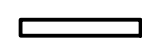



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1 1ST FLOOR PLAN
A3 SCALE: 1/4" = 1' 0"

WALL LEGEND

-  2X6 EXTERIOR WALL, FINISH BOTH SIDES
-  2X4 INTERIOR WALL, FINISH BOTH SIDES
-  BEARING WALL
-  WOOD POST IN WALL USING (2) 2X_5 UNLESS NOTED OTHERWISE
-  POINT LOAD FROM ABOVE

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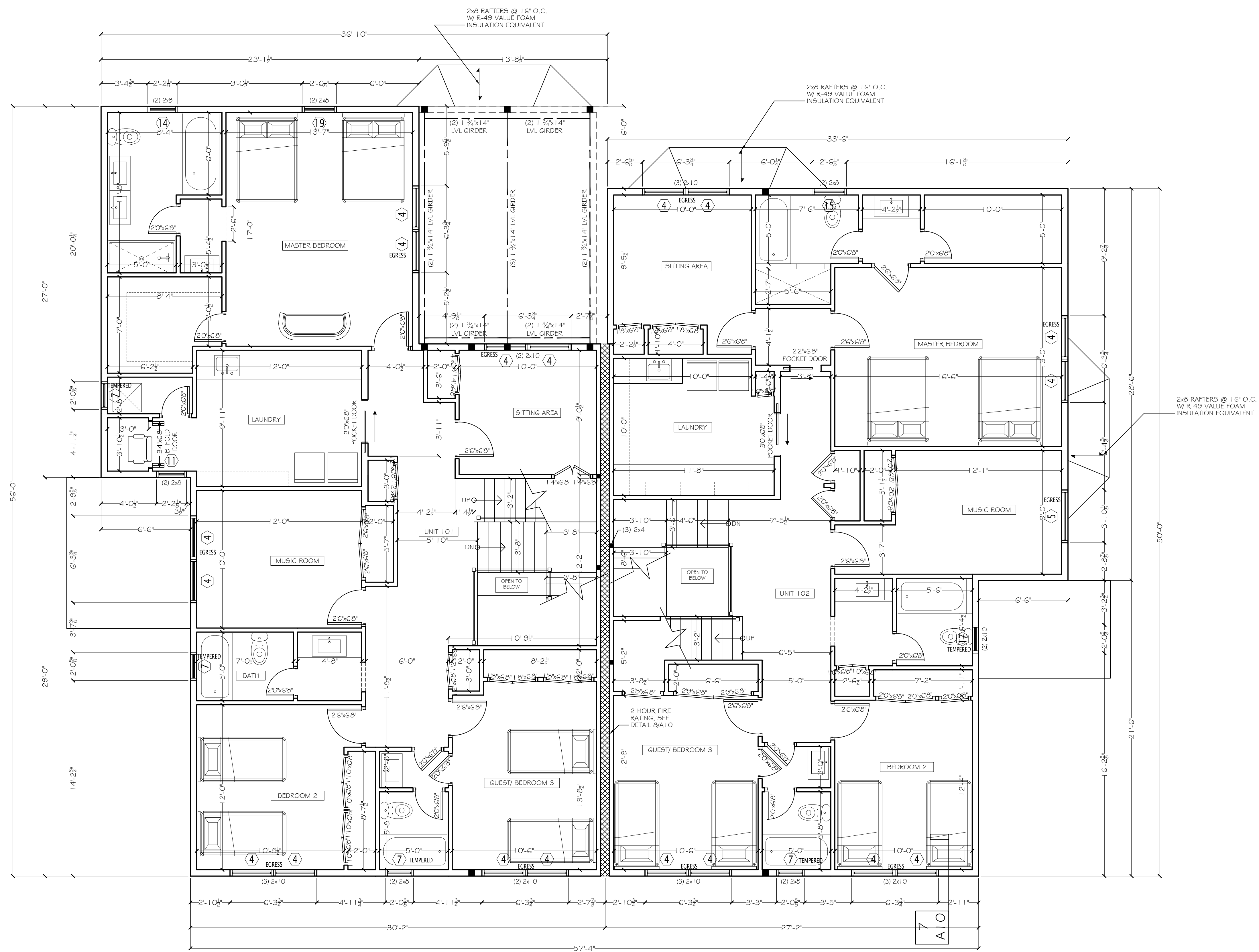
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1 2ND FLOOR PLAN
A4 SCALE: 1/4" = 1' 0"

WALL LEGEND

- 2X6 EXTERIOR WALL, FINISH BOTH SIDES
- 2X4 INTERIOR WALL, FINISH BOTH SIDES
- BEARING WALL
- WOOD POST IN WALL USING (2) 2X 'S UNLESS NOTED OTHERWISE
- POINT LOAD FROM ABOVE

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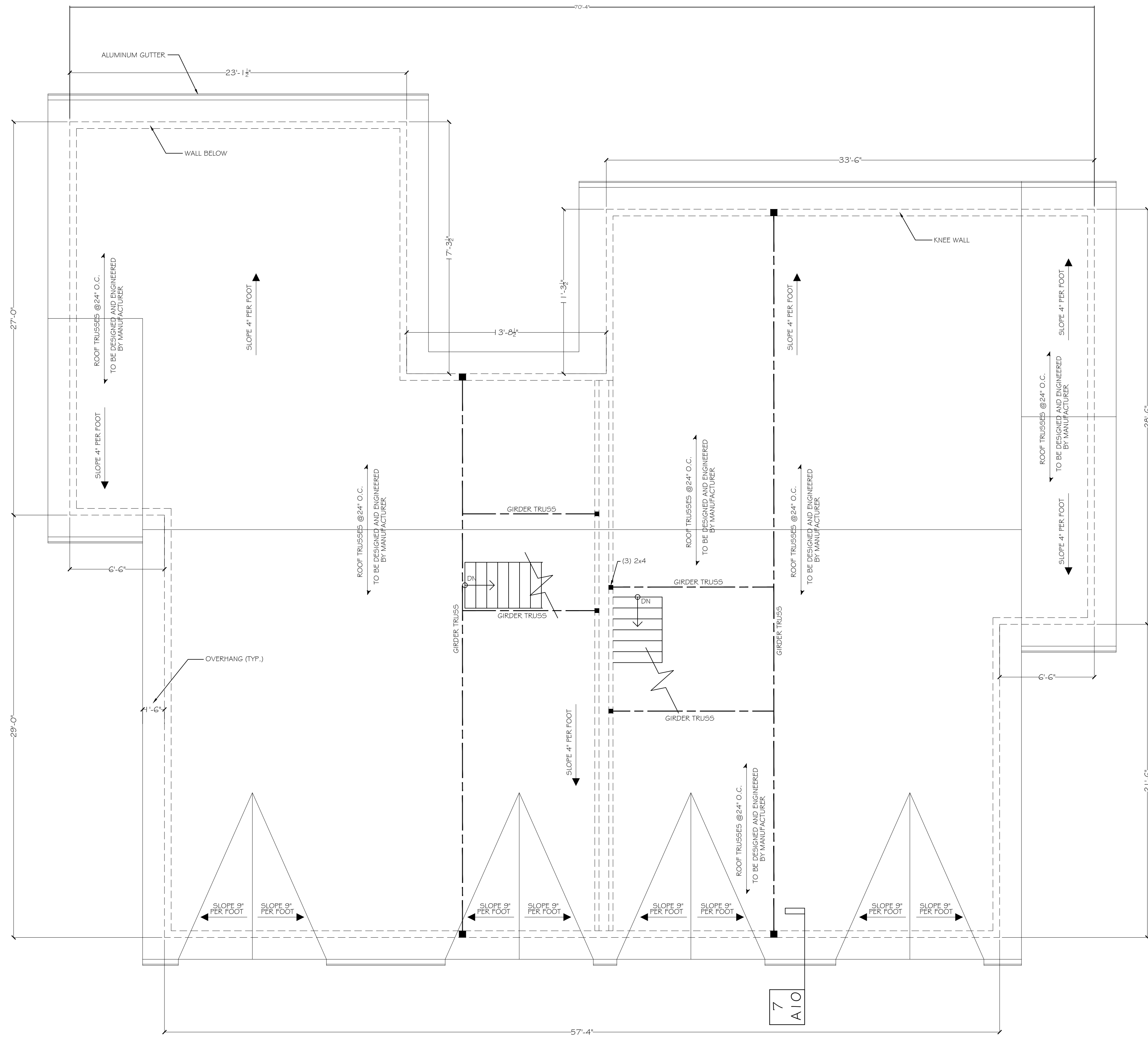
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1 ROOF PLAN
 A5 SCALE: 1/4" = 1' 0"

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 SCALE AS NOTED



1 FRONT ELEVATION
AG SCALE: 1/4" = 1'0"

LIGHT AND VENT CALCULATIONS

ROOM	SF	LIGHT REQUIRED	LIGHT PROVIDED	VENT REQUIRED	VENT PROVIDED
1ST FLOOR UNIT 101					
KITCHEN	379.67	30.38	52.26	15.19	34.73
PLAY ROOM	205	16.4	16.8	8.2	14.4
STUDY	103.68	8.29	4.2	4.14	3.6
DINING ROOM	465.33	37.22	64	18.61	58.4
1ST FLOOR UNIT 102					
KITCHEN	391.67	31.33	44.76	15.67	32.23
PLAY ROOM	211.33	16.9	16.8	8.45	14.4
DINING ROOM	417.33	33.9	64	16.7	58.4
2ND FLOOR UNIT 101					
MASTER BEDROOM	230.91	18.47	28.27	9.23	15.89
SITTING AREA	90.41	7.23	20.62	3.61	11.5
MUSIC ROOM	120	9.6	20.62	4.8	11.5
BEDROOM 2	132.48	10.6	20.62	5.3	11.5
BEDROOM 3	141.64	11.33	20.62	5.67	11.5
2ND FLOOR UNIT 102					
MASTER BEDROOM	214.5	17.16	20.62	8.58	11.5
SITTING AREA	101.40	8.11	20.62	4.05	11.5
MUSIC ROOM	124.58	9.97	12.97	4.98	7.10
BEDROOM 2	123.33	9.87	20.62	4.93	11.5
BEDROOM 3/ GUEST	133	10.64	20.62	5.32	11.5

*PROVIDE ARTIFICIAL LIGHTING TO ACCOMMODATE CODE REQUIREMENTS
**NEW MECHANICAL VENTILATION

VENTILATION UNIT NOTES
1. LIFE BREATH VENTILATION SYSTEM, 95 MAX, MODEL 99-DXPLO2, STATIC PRESSURE .2 wg, OR APPROVED EQUAL.
2. FANTECH AEB0 463843 .2wg, 82 CFM
3. INSTALL AS PER MANUF. SPECIFICATIONS.
4. UNIT CONTROLS TO INCLUDE AUTOMATIC MODE FOR WINTER AND SUMMER CONDITIONS.

SQUARE FOOTAGE	
FIRST FLOOR OF UNIT 101	1,677
SECOND FLOOR OF UNIT 101	1,429
TOTAL SF OF UNIT 101	3,106
FIRST FLOOR OF UNIT 102	1,416
SECOND FLOOR OF UNIT 102	1,354
TOTAL SF OF UNIT 102	2,770
TOTAL SF	5,876

WINDOW & PATIO DOOR SCHEDULE

NO.	UNIT DESIGNATION	UNIT WIDTH	UNIT HEIGHT	LIGHT	VENT	MATERIAL	SERIES	COMPANY	REMARKS
1	TW2832	2'-9 5/8"	3'-4 7/8"			WOOD	400	ANDERSON	DOUBLE HUNG
2	TW2432	2'-5 5/8"	3'-4 7/8"			WOOD	400	ANDERSON	DOUBLE HUNG
3	TW24310	2'-5 5/8"	4'-0 7/8"			WOOD	400	ANDERSON	DOUBLE HUNG
4	TW3046	3'-1 5/8"	4'-8 7/8"			WOOD	400	ANDERSON	DOUBLE HUNG
5	TW3846	3'-9 5/8"	4'-8 7/8"			WOOD	400	ANDERSON	DOUBLE HUNG
6	CW14	2'-4 3/8"	4'-0"			WOOD	400	ANDERSON	CASEMENT
7	A21	2'-0 1/8"	2'-0 1/8"			WOOD	400	ANDERSON	AWNING
8	CN135	1'-8 1/2"	3'-4 13/16"			WOOD	400	ANDERSON	CASEMENT
9	P5035	4'-11 7/8"	3'-4 13/16"			WOOD	400	ANDERSON	PICTURE WINDOW
10	CX135	2'-7 1/2"	3'-4 13/16"			WOOD	400	ANDERSON	CASEMENT
11	C145	2'-0 1/8"	4'-4 13/16"			WOOD	400	ANDERSON	CASEMENT
12	CW145	2'-4 3/8"	4'-4 13/16"			WOOD	400	ANDERSON	CASEMENT
13									
14	TW20210	2'-1 5/8"	3'-0 7/8"			WOOD	400	ANDERSON	DOUBLE HUNG
15	TW24210	2'-5 5/8"	3'-0 7/8"			WOOD	400	ANDERSON	DOUBLE HUNG
16									
17	C125	2'-0 1/8"	2'-4 3/8"			WOOD	400	ANDERSON	CASEMENT
18	FWG60611	5'-11 1/4"	6'-10 3/8"			WOOD	400	ANDERSON	GLIDING PATIO DOOR
19	TW2446	2'-5 5/8"	4'-8 7/8"			WOOD	400	ANDERSON	DOUBLE HUNG

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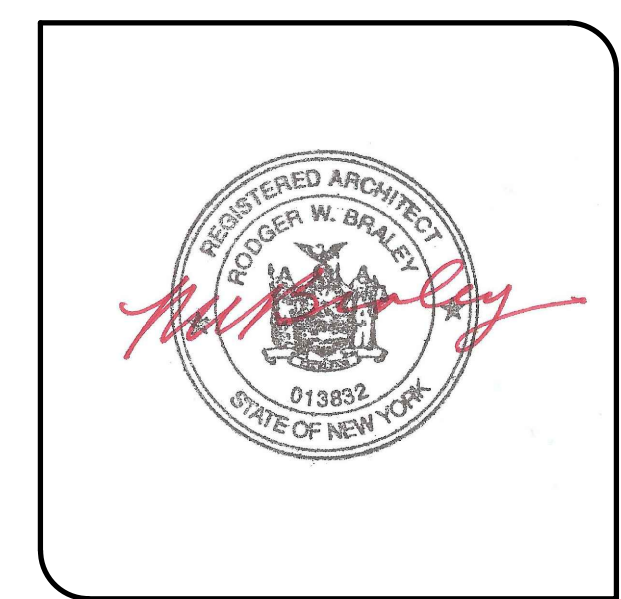


1
A7

 RIGHT ELEVATION
 SCALE: 1/4" = 1' 0"

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1 REAR ELEVATION
 A8 SCALE: 1/4" = 1' 0"

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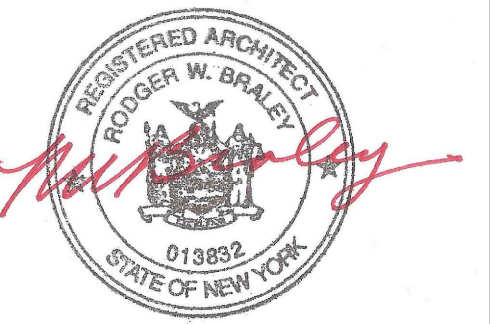
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1 LEFT ELEVATION
A9 SCALE: 1/4" = 1' 0"

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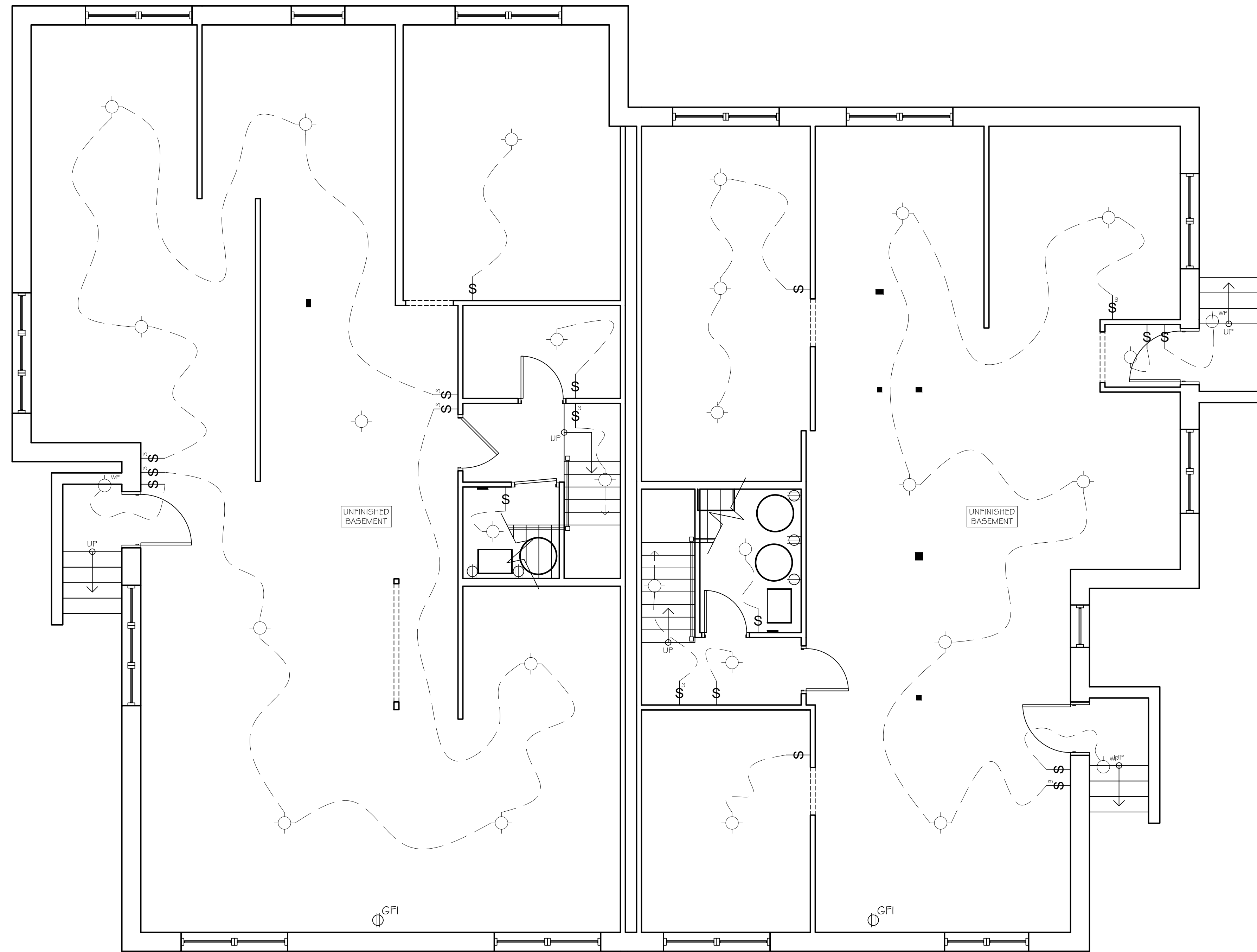
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 SCALE AS NOTED



1 BASEMENT ELECTRIC PLAN
 A11 SCALE: 1/4" = 1' 0"

ELECTRICAL SYMBOLS LEGEND

- (SM) SMOKE DETECTOR
- (CM) CARBON MONOXIDE DETECTOR
- ⊙ KEYLESS PORCELIN FIXTURE WITH A 13 WATT CFL BULB OR EQUIVALENT LED BULB AND FIXTURE
- ⊕ COMBINATION EXHAUST FAN / LIGHT - DIRECTLY VENTED TO EXTERIOR
- ⊙ DUPLEX RECEPTACLE OUTLET
- ⊙^{GFI} GROUND FAULT PROTECTION RECEPTACLE OR CIRCUIT
- ⊙ 220 VOLT RECEPTACLE OUTLET
- \$ LIGHT SWITCH
- \$ 3 WAY LIGHT SWITCH
- ELECTRIC PANEL
- EXIT EMERGENCY- BATTERY BACK UP- EXIT LIGHT UNIT
- F FIRE ALARM DOUBLE ACTION PULL STATION
- H/S FIRE ALARM SYSTEM HORN/STROBE ANNUNCIATOR
- ⊙^{WP} EXTERIOR WALL MOUNTED SURFACE LIGHT FIXTURE W/WATERPROOF COVER, 100W EQUIVALENT, 120V

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1 1ST FLOOR ELECTRIC PLAN
 A12 SCALE: 1/4" = 1' 0"

ELECTRICAL SYMBOLS LEGEND

- (SM) SMOKE DETECTOR
- (CM) CARBON MONOXIDE DETECTOR
- KEYLESS PORCELIN FIXTURE WITH A 13 WATT CFL BULB OR EQUIVALENT LED BULB AND FIXTURE
- CHANDELIER
- ⊕ COMBINATION EXHAUST FAN / LIGHT - DIRECTLY VENTED TO EXTERIOR
- ⊕ DUPLEX RECEPTACLE OUTLET
- ⊕^{GFI} GROUND FAULT PROTECTION RECEPTACLE OR CIRCUIT
- ⌞ LIGHT SWITCH
- ⌞ 3 WAY LIGHT SWITCH
- EXIT EMERGENCY- BATTERY BACK UP- EXIT LIGHT UNIT
- F FIRE ALARM DOUBLE ACTION PULL STATION
- H/S FIRE ALARM SYSTEM HORN/STROBE ANNUNCIATOR
- ^{WP} EXTERIOR WALL MOUNTED SURFACE LIGHT FIXTURE WITH WATERPROOF COVER, 100W EQUIVALENT, 120V

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









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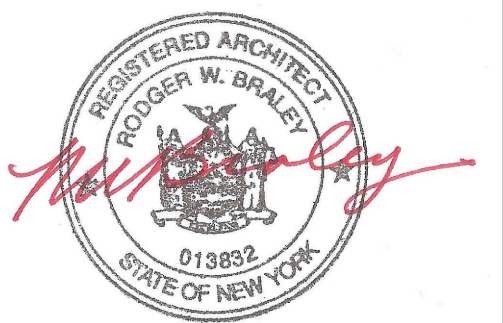
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A13 2ND FLOOR ELECTRIC PLAN
SCALE: 1/4" = 1' 0"

ELECTRICAL SYMBOLS LEGEND

-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  KEYLESS PORCELIN FIXTURE WITH A 13 WATT CFL BULB OR EQUIVALENT LED BULB AND FIXTURE
-  CHANDELIER
-  COMBINATION EXHAUST FAN / LIGHT - DIRECTLY VENTED TO EXTERIOR
-  DUPLEX RECEPTACLE OUTLET
-  GROUND FAULT PROTECTION RECEPTACLE OR CIRCUIT
-  LIGHT SWITCH
-  3 WAY LIGHT SWITCH
-  EMERGENCY- BATTERY BACK UP- EXIT LIGHT UNIT
-  FIRE ALARM DOUBLE ACTION PULL STATION
-  FIRE ALARM SYSTEM HORN/STROBE ANNUNCIATOR
-  EXTERIOR WALL MOUNTED SURFACE LIGHT FIXTURE W/WATERPROOF COVER, 100W EQUIVALENT, 120V

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GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS AND ORDINANCES OF THE 2020 BUILDING CODE & ENERGY CONSERVATION CODES AND THE LOCAL TOWN OR VILLAGE OF WHICH THE PROJECT IS LOCATED.

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PRIOR, DURING AND AFTER CONSTRUCTION ALL NECESSARY LICENSES AND INSURANCES PER THE N.Y.S., LOCAL AND ALL GOVERNING REGULATIONS. THE OWNER SHOULD READ AND REVIEW HIS/HER ENTIRE SET OF CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO GIVING IT TO THE CONTRACTOR. OWNER SHALL CONFIRM THAT ALL INFORMATION IS CORRECT. SHOULD THE OWNER FIND ANYTHING THAT WASNT WHAT THEY INTENDED TO BE DONE, THEN THEY SHALL HAVE THE ARCHITECT AMEND IT AS REQUIRED.

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION, AND OR PROJECT SITE. THE GENERAL PUBLIC, PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER THE CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY THE LOCAL BUILDING DEPARTMENT.

THE PROJECT SITE SHALL BE PROPERLY POSTED AND TAPED AND OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO ANY ERECTION/CONSTRUCTION.

ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALWAYS USE DIMENSIONS AS SHOWN AND THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

DRAWINGS ARE NOT TO BE SCALED. ALL CHANGES MADE BY THE CONTRACTOR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER PRIOR OF STARTING WITH THE WORK INVOLVED. ANY UNAUTHORIZED CHANGES MADE BY THE CONTRACTOR AND ULTIMATELY NOT BEING APPROVED BY THE OWNER AND ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND TO BE CORRECTED AT HIS OWN EXPENSE.

THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY MECHANICAL DESIGN SYSTEMS, DUCTS, CHASE OPENINGS, SIZE OF FURNACE AND FRESH AIR REQUIREMENTS ETC. THESE ARE NOT SHOWN AND SHALL BE DETERMINED BY A MECHANICAL ENGINEER PRIOR OF COMMENCING THE WORK.

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION, AND CONSTRUCTION INSPECTIONS AND/OR THE REVIEW OF SHOP DRAWINGS. THE ARCHITECT HAS ONLY BEEN RETAINED FOR DESIGN PURPOSES. THEREFORE, THE ARCHITECT ASSUMES NO LIABILITY FOR WORKMANSHIP, CODE AND OR PLAN COMPLIANCE. THE ARCHITECTS RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND RELATED SPECIFICATIONS ONLY.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FOR THE OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURES AND OR ANY UNFORESSEEN PROBLEMS PRIOR TO NEW CONSTRUCTION.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DEMOLITION, SITE WORK, NEW CONSTRUCTION, OPERATION AND METHODS.

ALL AREAS THAT ARE AFFECTED BY ALL ADDITIONS SHALL BE REPAIRED AND OR PATCHED TO A LIKE NEW CONDITION, UNLESS NOTED OTHERWISE.

THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE LOCAL AND STATE AS REQUIRED AND TO DELIVER TO THE OWNER A C.O. UPON COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL PROVIDE A CONTAINER FOR THE REMOVAL OF DEBRIS DURING CONSTRUCTION.

THE CONTRACTOR AND ALL SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL KEEP THE SITE CLEAN AND HAZARD FREE AT ALL TIMES AND TO OBTAIN.

ALL "OSHA" AND ALL OTHER SAFETY REGULATIONS.

THE CONTRACTOR SHALL LEAVE PREMISES BROOM CLEAN DAILY.

THE CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND/OR DESCRIBED BY THESE DRAWINGS AND IS TO FOLLOW ALL NATIONALLY ACCEPTED TRADE PRACTICES.

SITE NOTES

THESE PLANS ARE BASED ACCORDANCE TO THE SURVEY INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER. THEY SHOULD BE REVIEWED BY A LICENSED LAND SURVEYOR AND OR ENGINEER TO VERIFY ALL BUILDING LINES, AND SET BACKS PRIOR TO CONSTRUCTION.

THE ELEVATION SHOWN ON THE PLAN MAY NOT BE ACCURATE IN EVERY DETAIL. THE OWNER SHALL REVIEW THE PLANS WITH THE CONTRACTOR TO INSURE ACCURACY OF DETAILS AND METHODS PROVIDED BY THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE OF NOTIFYING ALL UTILITY COMPANIES, AND VERIFYING THE LOCATION OF THE SAME UTILITY COMPANIES LINES, SERVICES AND ALL OTHER POSSIBLE EQUIPMENTS OF UTILITY COMPANIES. THE CONTRACTOR SHALL LOCATE AND IDENTIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, AND PROVIDE UNDERGROUND CONNECTIONS TO THEM.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY GROUND WATER, EXCESSIVE ORGANIC MATERIAL OR ANY OTHER UNSUITABLE CONDITIONS DISCOVERED DURING SITE PREPARATION AND OR EXCAVATION.

THE CONTRACTOR SHALL PROVIDE ONE PROPERLY MAINTAINED, PORTABLE TOILET FOR THE ENTIRE DURATION OF THE CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE FROM A REGISTERED LAND SURVEYOR A WRITTEN CERTIFICATE THAT THE LOWEST PORTION OF THE FIRST FLOOR MEET OR EXCEED THE REQUIRED FLOOD ELEVATION.

ALL DRIVEWAYS AND WALKWAYS FORM WORK SHALL BE APPROVED BY DEVELOPMENT REVIEW REPRESENTATIVE BEFORE ANY WORK CONTINUES. THE CONTRACTOR SHALL REMOVE AND DISPOSE ALL RUBBISH, VEGETATION, STUMPS, ROOTS, AND TREES AS SHOWN ON THE PLANS.

ALL AREAS TO BE COVERED WITH FILL AND GRADED DOWN. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES SHOWN TO REMAIN AS REQUIRED.

EXTREME CAUTION SHALL BE TAKEN DURING DEMOLITION OF EXISTING BUILDINGS. THE CONTRACTOR SHALL OBSERVE ANY VARIATIONS AND OR ANY UNFORESSEEN DISCREPANCIES WITH THE PLANS, AND SHOULD REPORT IMMEDIATELY TO THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND ALL TEMPORARY SUPPORTS PRIOR OF REMOVING THE EXISTING WALLS, CEILINGS, FLOORS AND ROOFS AS PER ALL LOCAL AND OSHA REGULATIONS.

THE CONTRACTOR SHALL PROVIDE WEATHERPROOFING AT THE END OF EACH WORK DAY AS REQUIRED TO PREVENT WEATHER DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY THE CONTRACTORS NEGLIGENCE.

BACKFILL SHALL NOT BE PLACED UNTIL THE MAIN FLOOR SYSTEM AND BASEMENT CONCRETE INTERIOR FLOOR SLABS ARE INSTALLED. FOOTING DRAINING SHALL BE PROVIDED AS SHOWN, AND APPROPRIATE. THEY SHOULD BE LAID IN GRAVEL BED AND PROTECTED AT THE TOP WITH FILTER FABRIC AND 6" OF 1/2" GRAVEL AROUND & PROVIDE POSITIVE OUTFALL TO A STORM DRAIN OR A DRY-WELL.

THE FINISHED GRADE AND DRIVEWAY SHOULD BE PITCHED AWAY FROM THE BUILDING SUCH THAT ALL THE SURFACE WATER FLOWS AWAY FROM BUILDING.

THE FINISHED GRADE HEIGHT SHALL BE A MINIMUM OF 8" BELOW THE ADJACENT FRAMING, OR AS INDICATED ON PLANS.

THE TOP OF ANY FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2 PERCENT.

INSTALLATION OF GAS AND ELECTRIC METERS SHOULD BE IN STRICT ACCORDANCE WITH THE LOCAL UTILITY COMPANY SPECIFICATIONS.

FOUNDATION NOTES

ITS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE DIMENSIONS BETWEEN FOUNDATION AND FLOOR PLANS PRIOR TO CONSTRUCTION. ALL EXCAVATIONS SHOULD BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.

THIS PROJECT HAS BEEN DESIGNED BY ASSUMING THAT ALL THE 50LB BEARING IS 2 KIPS/SQ. FT. (2000#).

ALL STRUCTURAL CONCRETE SHALL BE A STONE CONCRETE WITH A 1:3:5 MIX AND HAVE A MINIMUM STRENGTH OF 3,500 PSI AT THE END OF 28 DAYS.

ALL FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING 2 TONS PER SQ. FT.

REFERENCE THE PLANS FOR SIZE AND QUANTITY OF REINFORCING BARS.

ALL FOOTINGS SHALL BE BELOW THE FINISHED GRADE MINIMUM OF 3'-6" IN ROCKLAND COUNTY, 3'-6" IN ORANGE COUNTY OR OTHERWISE SHOWN ON THE PLAN.

PROVIDE EXPANSION JOINTS AT PERIMETERS OF ALL CONCRETE SLABS. ALL INTERIOR FOOTINGS SHALL STEP DOWN TO PERIMETER WALL FOOTING DEPTH AT ALL FOOTING INTERSECTIONS.

ALL SUB GRADE FILL MATERIAL SHALL BE COMPACTED TO A DENSITY OF 96.

ALL CONCRETE SLABS SHALL BE A MINIMUM OF 4" THICK - REINFORCED WITH 6x61 1x10 WELDED WIRE MESH ON 6 MILL VAPOR BARRIER ON 4" OF 3/4" GRAVEL, UNLESS SHOWN OTHERWISE AND TO RECEIVE A SMOOTH FINISH.

ALL CONCRETE PAVING SHALL RECEIVE A FINE BROOM FINISH UNLESS SHOWN OTHERWISE.

ALL CONCRETE SLABS TO RECEIVE CONTROL JOINTS (1/2" SAW CUTS) AT A MAXIMUM OF 25x25' TO CONTROL CRACKING WITH SHRINKAGE.

SLOPE ALL CONCRETE SLABS TO DRAIN TO EXTERIOR. SLOPES IN GARAGES SHALL BE A MINIMUM OF 1/8"= 1'-0" UNLESS SHOWN OTHERWISE.

MASONRY AND CONCRETE CONTRACTOR SHALL INSTALL ALL ANCHOR BOLTS, PLATES, CHASES, SLOTS, SLEEVES, ETC. AS REQUIRED BY TRADES.

CAULK WEATHER-TIGHT ALL OPENINGS. EXTERIOR OF THE CONCRETE WALLS TO BE COATED WITH RUB-B-WALL COATING OR EQUAL. INTERIOR COLUMNS TO BE 4" DIAM. STANDARD STEEL - PROVIDE BASE & TOP PLATES. INTERIOR COLUMNS OVER 9'-0" IN HEIGHT TO BE 5" DIAM. STANDARD STEEL COLUMNS.

EXTREME CAUTION TO BE USED IN DELIVERY OF THE STEEL COLUMNS. MUST NOT BE DROPPED AT ANY TIME.

FRAMING NOTES

ALL STANDARD FRAMING LUMBER TO BE HEMLOCK #2 OR BETTER UNLESS OTHERWISE NOTED.

ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS ONLY.

WHEN USING MULTIPLE MEMBER ENGINEERED BEAMS, THE FRAMER SHALL REFERENCE WITH THE SPECIFIC MANUFACTURERS NAILING GUIDE.

PROVIDE METAL FLASHING AT ALL EXTERIOR DOORS, WINDOWS AND OPENINGS UNLESS SHOWN OTHERWISE.

INSTALL 36" WIDE ICE & WATER SHIELD AT ALL ROOF EDGES, IN VALLEYS, UP AGAINST WALL JUNCTIONS, OVER HIPS AND WRAP OVER ALL FACIAS. SHIELD IS REQUIRED FROM EDGE OF EAVE TO A POINT NOT LESS THAN 24" BEYOND INTERIOR FACE OF EXTERIOR WALL. PROVIDE OPTIONAL SNOW-GUARDS IF REQUIRED WITH THE STANDARD SPACING ALONG THE BOTTOM EDGE OF THE ROOF.

FRAMING NOTES DIMENSIONS ARE TO THE NEAREST INCH. ACTUAL ROOM SIZES MAY VARY DUE TO GYPSUM BOARD.

ALL WOOD FRAMING IN DIRECT CONTACT WITH SOIL, CONCRETE, MASONRY OR WEATHER SHALL BE PRESSURE TREATED (AMPA STANDARD C2, C3).

ALL FRAMING BELOW THE REQUIRED FLOOD ELEVATION AS SET FORTH BY FEMA AND LOCAL BUILDING OFFICIALS SHALL BE PRESSURE TREATED.

SECURE ALL TEMPORARY RAILINGS WITH GUARDS TO BE INSTALLED AROUND ALL FLOOR OPENINGS AND OPEN DOOR OPENINGS. PROVIDE TEMPORARY RAMPS AND/OR STAIRS TO BE INSTALLED AT ALL LEVELS.

ALL LUMBER TO BE SOUND, DRY AND FREE FROM ROT, KNOTS, AND SPLITS.

ALL FRAMING SHALL BE FRAMED AT 16" O.C. UNLESS SHOWN OTHERWISE.

FOR ALL CONVENTIONAL FLOOR FRAMING PROVIDE A MINIMUM OF ONE ROW OF 5/4 CROSS BRIDGING FOR ALL JOISTS WITH SPANS OVER 12'-0" OR SHOWN OTHERWISE ON THE PLANS.

PROVIDE A MINIMUM OF DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, MAJOR APPLIANCES, BATH FIXTURES, AND AT ALL CANTILEVERS, UNLESS SHOWN OTHERWISE.

PROVIDE A MINIMUM OF DOUBLE JOISTS AT OPENINGS IN FLOORS, CEILINGS AND ROOFS.

PROVIDE A MINIMUM OF DOUBLE WALL STUDS AROUND ALL WALL OPENINGS, JACK STUDS UNDER ALL HEADERS, TRIPLE STUDS AT ALL CORNERS.

PROVIDE POSTS AT ALL RIDGE, HIP AND VALLEY INTERSECTIONS DOWN TO A MINIMUM OF TRIPLE 2" x8" CEILING JOISTS.

ALL FRAMING SHALL BE FRAMED CROWN UP UNLESS AT CANTILEVERS OR SHOWN OTHERWISE.

SOLID BLOCKING SHALL BE PROVIDED UNDER ALL POSTS THAT DONT REST DIRECTLY ON JOISTS.

ALL INTERIOR WOOD POSTS SHALL BE SOLID STUDS, AND TO BE A MINIMUM OF THE WIDTH OF THE BEAM SUPPORTING IT AND PROVIDE MINIMUM ONE KING STUD AT EITHER SIDE.

BRACE ALL WALLS DURING CONSTRUCTION.

ALL WALL FRAMING OF 9'-0" AND GREATER SHALL HAVE CATS (SOLID BLOCKING) AT MIDHEIGHT.

ALL DOORS, WINDOWS AND OPENINGS SHALL HAVE A MINIMUM HEADER TO BE AS FOLLOWS UNLESS SHOWN OTHERWISE ON PLANS. UP TO 5'-0" USE (2)2x10', UP TO 8'-0" USE (3)2x10' OR (2)2x12' OPENINGS GREATER THAN 8'-0" SEE PLANS FOR SIZES.

FOR USE FASTENER WALLS AS FOLLOWS: 1.04 AT ALL GENERAL FRAMING AND 84 AT ALL PLYWOOD, 4" SPACING MAX. - TABLES RG22 (1) THROUGH RG28 (34).

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DOOR & WINDOW NOTES

ALL WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH THE ENERGY CONSERVATION CODE OF N.Y.S. AND FOR THE COUNTY THIS PROJECT IS LOCATED. ALL DOORS SHALL CONFORM TO THE STATE CODE SIZE REQUIREMENTS.

WINDOW SCHEDULE IS FOR DESIGN INTENT ONLY. THE CONTRACTOR SHALL VERIFY WITH OWNER ALL WINDOWS, DOOR, AND ADDITIONAL OPTIONS SUCH AS, COLOR, HARDWARE PRIOR TO ORDERING.

ALL WINDOWS AND DOORS SHALL BE INSTALLED WITH STRICT ACCORDANCE TO THEIR PARTICULAR MANUFACTURERS SPECIFICATIONS AND TO VERIFY WINDOW ROUGH OPENINGS WITH THE MANUFACTURER.

ALL HEADER HEIGHTS TO BE 6'-9" ABOVE THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.

ALL WINDOWS IN HABITABLE SPACES SHALL COMPLY WITH THE RESIDENTIAL CODE OF THE N.Y.S. EGRESS REQUIREMENTS. THESE WINDOWS SHALL HAVE A SILL HEIGHT OF NOT GREATER THAN 44" ABOVE FINISHED FLOOR. THESE WINDOWS SHALL HAVE A MIN. OF 5.7 SQ. FT. CLEAR OPENING AND 10.5 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT.

AT ALL EGRESS BASEMENT WINDOWS THAT ARE BELOW THE FINISHED GRADE SHALL BE PROVIDED WITH AN APPROVED WINDOW WELL AND DRAINAGE AS PER THE N.Y.S. AND LOCAL CODES. ALL GLAZING LESS THAN 18" ABOVE FINISHED FLOOR/SURFACE.

AND ALL GLASS TUB AND/OR SHOWER ENCLOSURES SHALL BE TEMPERED GLASS.

ALL FIXED GLASS SHALL BE IN FRAMES TO MATCH THE MANUFACTURER OF OPERABLE WINDOWS. ALL WINDOWS SHALL BE MANUFACTURED BY ANDERSON OR EQUAL UNLESS SHOWN OTHERWISE.

ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS OR ANY OTHER ROOF ACCESSORIES THAT REQUIRE FLASHING SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS.

PROVIDE ADDITIONAL ALUMINUM BLIND FLASHING WHERE REQUIRED TO INSURE IF WATER TIGHT CONDITIONS.

INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION. PROVIDE ADEQUATE AIR SPACE BEHIND BRICK, STONE AND OTHER SIDINGS AS REQUIRED.

ALL BEADS, STOPS AND TRIM SHALL BE MANUFACTURED FROM RUST RESISTANT MATERIALS.

ALL EXTERIOR SWING DOORS SHALL BE MANUFACTURED BY THERMA-TRU OR EQUAL UNLESS SHOWN OTHERWISE.

ALL WINDOW & DOOR JAMBS TO BE FOAM SEALED & WEATHER STRIPPED ON EXTERIOR AS PER THE 2020 INTERNATIONAL ENERGY CONSERVATION CODE.

DRYWALL NOTES

ALL GYPSUM BOARD DRYWALL CUT JOINTS SHALL BE ADJACENT TO CORNERS. NO BUTT JOINTS IN WALL SHALL BE PERMITTED.

ALL CORNERS AND JOINTS SHALL RECEIVE TWO COATS OF JOINT COMPOUND FEATHERED SMOOTH AND ALL DIMPLES CREATED BY FASTENERS SHALL RECEIVE THREE COATS OF JOINT COMPOUND FEATHERED SMOOTH.

ALL GYPSUM BOARD SHALL BE IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK, PUBLISHED BY THE UNITED STATES GYPSUM COMPANY.

ALL MATERIALS SHALL BE FURNISHED BY THE UNITED STATES GYPSUM COMPANY, NATIONAL GYPSUM COMPANY, CELEST COOP, OR OTHER APPROVED MANUFACTURER.

USE WATERPROOF GYPSUM BOARD AT ALL TUBS, SHOWER SURROUNDS AND OTHER WET LOCATIONS.

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STAIR & RAILING NOTES

ALL STAIRS AND RAILINGS SHALL COMPLY WITH THE 2020 NYS RESIDENTIAL CODE.

ALL STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.

HANDRAILS SHALL NOT PROJECT INTO THE STAIRWAY MORE THAN 4 COMBINED CLEAR WIDTH OF 27" IF THERE IS TWO HANDRAILS AND 31" THERE IS ONLY ONE HANDRAIL WITH A MINIMUM WALL CLEARANCE OF 1" THE MINIMUM HEADROOM IN ALL PARTS OF STAIRWAYS SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.

ENCLOSE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED ON THE ENCLOSED SIDE w/ 1/4" GYP. BD.

THE MAXIMUM RISER HEIGHT IS 7" 1/2", THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE MINIMUM TREAD DEPTH IS 9". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

WINDER TREADS ARE PERMITTED PROVIDED THAT THE WIDTH OF THE TREAD AT A POINT IS NOT MORE THAN 12" AND FROM THE NARROW SIDE IS NOT LESS THAN 10".

WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT.

THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.

IF DECKS OR PLATFORMS ARE 8'-0" AND GREATER ABOVE THE FINISHED GRADE THAN THE HANDRAIL SHALL BE 42" IN HEIGHT.

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TRIM & PAINTING NOTES

ALL CLOSETS SHALL HAVE A MINIMUM OF ONE (1) HIGH SHELF AND ONE (1) ROD FOR HANGING CLOTHING. PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS.

THE CONTRACTOR SHALL VERIFY ALL AS BUILT DIMENSIONS AND CONDITIONS PRIOR OF ORDERING CABINETS, COUNTER TOPS AND VANITIES.

ALL EXPOSED BASED CABINET SIDES SHALL HAVE TOE SPACE UNLESS SHOWN OTHERWISE.

ALL PAINTS AND STAINS SHALL BE OF A MANUFACTURER AS SCHEDULED OR AS DIRECTED BY BUILDER.

ALL INTERIOR GYPSUM BOARDS, WALLS AND CEILINGS, SHALL RECEIVE ONE COAT PRIMER AND TWO COATS OF PAINT OF BENJAMIN MOORE OR EQUAL.

ALL INTERIOR WOOD, TRIM, SHELVING AND OAK FLOORS SHALL BE FINISHED AS SCHEDULED OR AS DIRECTED BY BUILDER.

ALL INTERIOR DOORS, TRIM AND EXPOSED WOOD SHALL BE SANDED COMPLETELY SMOOTH PRIOR TO APPLYING FINISH.

ALL EXPOSED FERROUS METAL SHALL BE PAINTED WITH A RUST INHIBITOR AND TWO COATS OF ENAMEL.

PUMBING NOTES

ALL PLUMBING WORK EQUIPMENT AND FIXTURES SHALL BE PLACED AND INSTALLED PER THE RESIDENTIAL CODE OF N.Y.S., THE PLUMBING CODE OF N.Y.S., AND INDUSTRY STANDARDS.

THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FIXTURES, MODELS, COLORS ETC. PRIOR OF ORDERING. INSTALL RIM PIPING UNDER ALL CONCRETE SLABS. GAS LINES TO BE GROUNDED TO BLACK PIPE AT SERVICE ENTRY VENT STACK SHALL EXTEND ABOVE ROOF 18" OF 12" ABOVE AVG SNOWFALL.

THE PLUMBING CONTRACTOR SHALL PROVIDE DRYER VENTS AS PER THE RESIDENTIAL CODE OF N.Y.S. THE PLUMBING CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL GIRDERS, HEADERS, BEAMS WITHOUT PRIOR CONSENT FROM THE ARCHITECT.

DRILLING AND CUTTING OF FLOOR JOISTS SHALL BE IN STRICT ACCORDANCE WITH THE CODE AND/OR SAID JOIST MANUFACTURERS SPECIFICATIONS.

THE PLUMBING CONTRACTOR SHALL VERIFY FIXTURE AND PIPE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS JOB PRIOR TO INSTALLATION.

THE PLUMBING CONTRACTOR SHALL PROVIDE SHOWER PANS UNDER CLOTHES WASHER WITH A DRAIN CONNECTED TO THE WASTE PLUMBING SYSTEM.

THE PLUMBING CONTRACTOR SHALL PROVIDE WHOLE HOUSE BACK-FLOW PREVENTION VALVES AND ADEQUATE CLEAN-OUTS AS REQUIRED BY CODE.

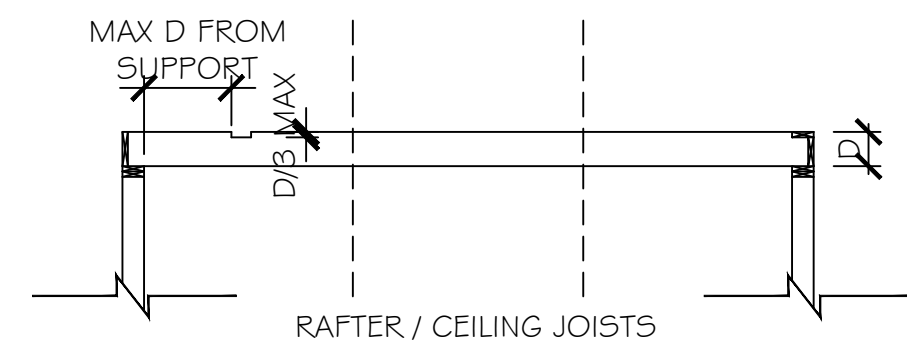
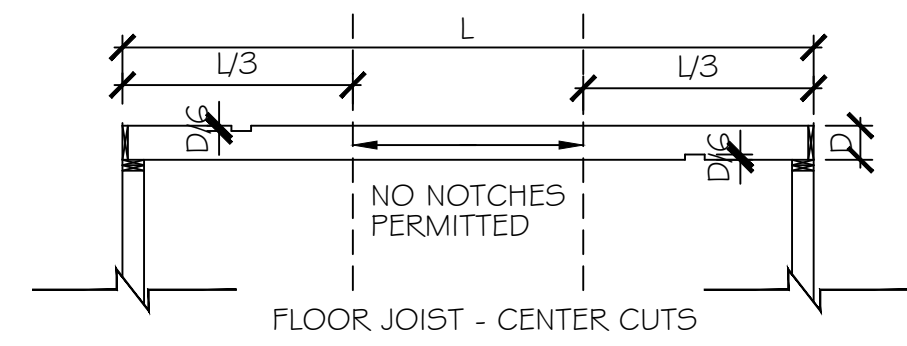
PROVIDE 12x12" ACCESS PANEL TO WHIRLPOOL TUB MOTOR AND SIMILAR EQUIPMENT. THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT FLUES AS REQUIRED BY THE RESIDENTIAL CODE OF N.Y.S. ALL HOSE BIBS SHALL BE FREEZE PROOF TYPE.

LOCATIONS AND QUANTITY SHALL BE AS PER OWNERS INSTRUCTIONS. UNLESS SHOWN OTHERWISE A MINIMUM OF TWO (2) HOSE BIBS SHALL BE PROVIDED; ONE (1) LOCATED AT THE FRONT AND ONE (1) LOCATED AT REAR.

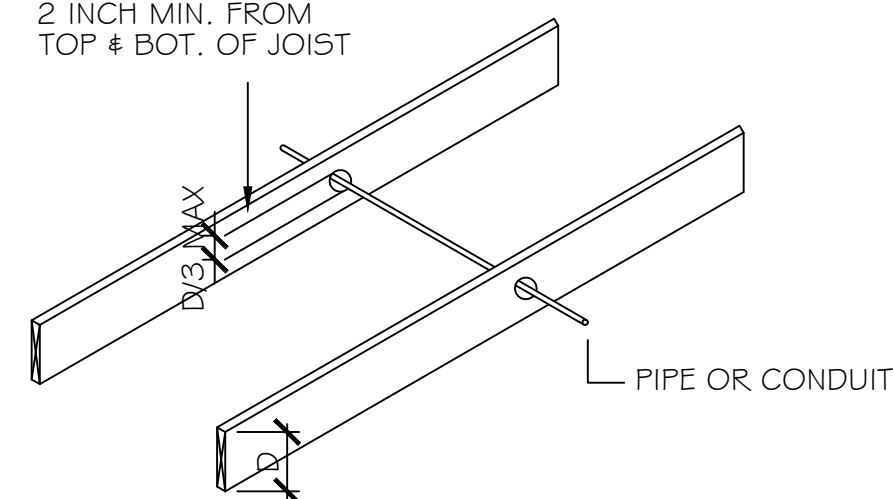
MECHANICAL NOTES

ALL MECHANICAL WORK (FURNACE, BOILERS, HVAC, HOT WATER, ETC.) SYSTEMS, AND INSTALLATION SHALL COMPLY IN ACCORDANCE WITH THE 2020 INTL BUILDING CODE THE PLUMBING, MECHANICAL, AND FUEL GAS CODES OF N.Y.S., AND INDUSTRY STANDARDS.

THE SYSTEMS SHALL BE DESIGNED AND GUARANTEED BY THE MECHANICAL SUBCONTRACTOR TO MEET AND/OR EXCEED THE FOLLOWING REQUIREMENTS- MAINTAIN 70°F INSIDE WHEN THE OUTSIDE TEMPERATURE IS 100°F AND MAINTAIN 70° F INSIDE WHEN THE OUTSIDE TEMPERATURE IS 0°F.



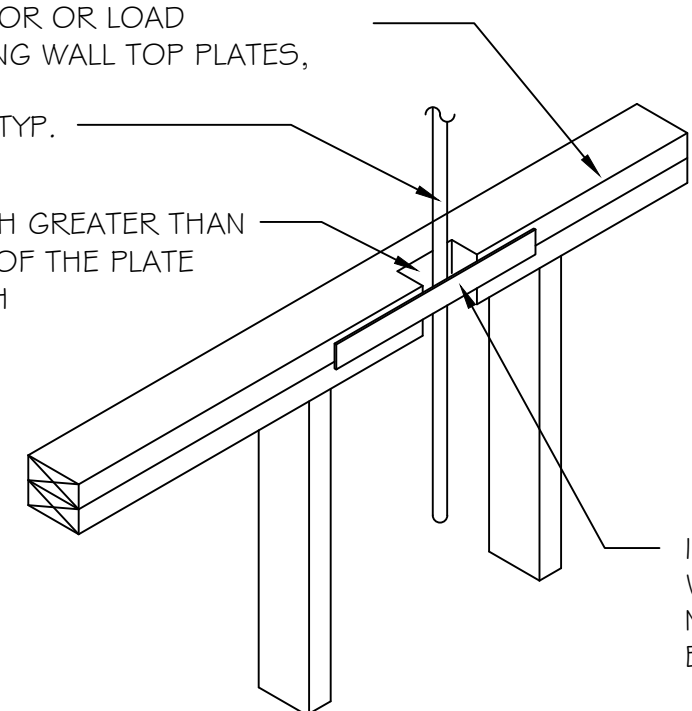
2 INCH MIN. FROM TOP & BOT. OF JOIST



3 NOTCHING DETAILS
A15 SCALE: 1/4" = 1'-0"

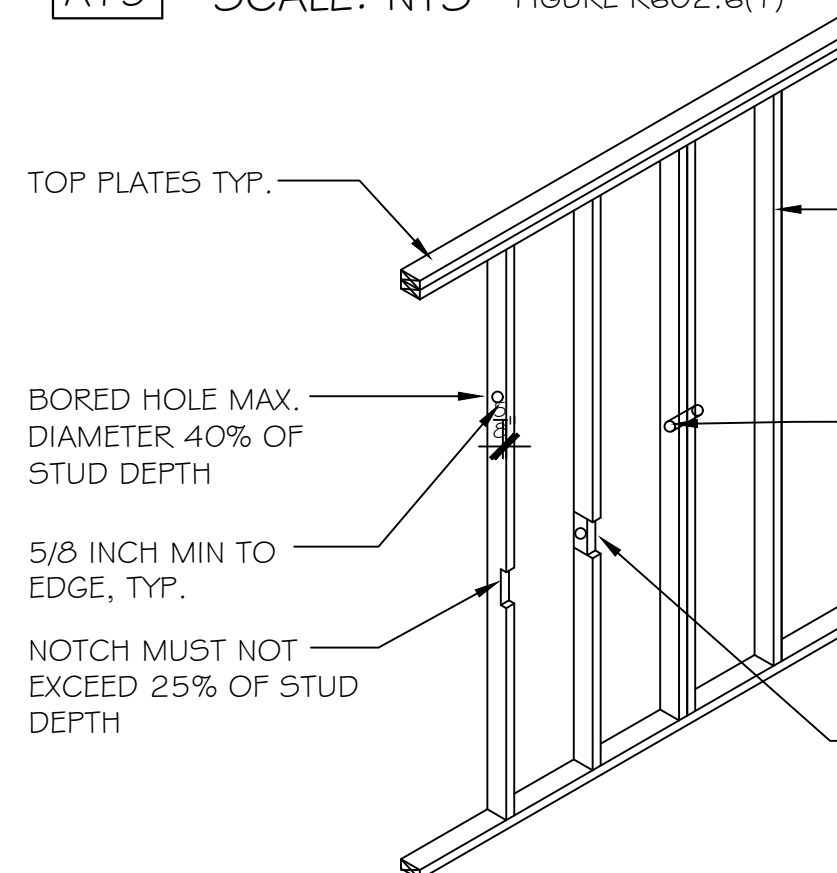
EXTERIOR OR LOAD BEARING WALL TOP PLATES, TYP. PIPE, TYP.

NOTCH GREATER THAN 50% OF THE PLATE WIDTH



16 GAGE AND 1.5 INCH WIDE METAL TIE ACROSS NOTCH W/ 8-16d NAILS EACH SIDE OF NOTCH, TYP.

4 NOTCHING TOP PLATE DETAIL
A15 SCALE: NTS FIGURE R602.6(1)



BORED HOLE MAX. DIAMETER 40% OF STUD DEPTH

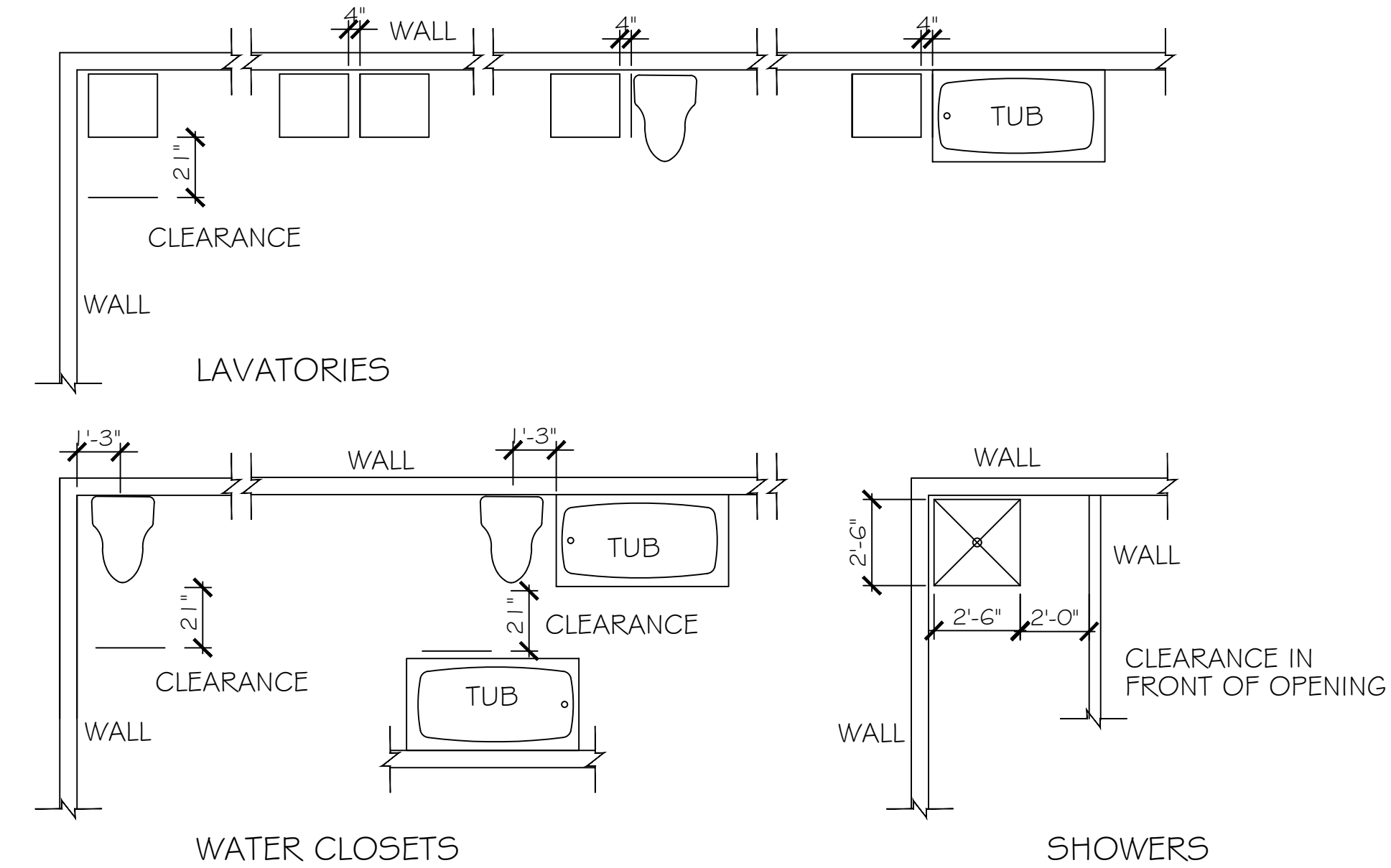
5/8 INCH MIN TO EDGE, TYP.

NOTCH MUST NOT EXCEED 25% OF STUD DEPTH

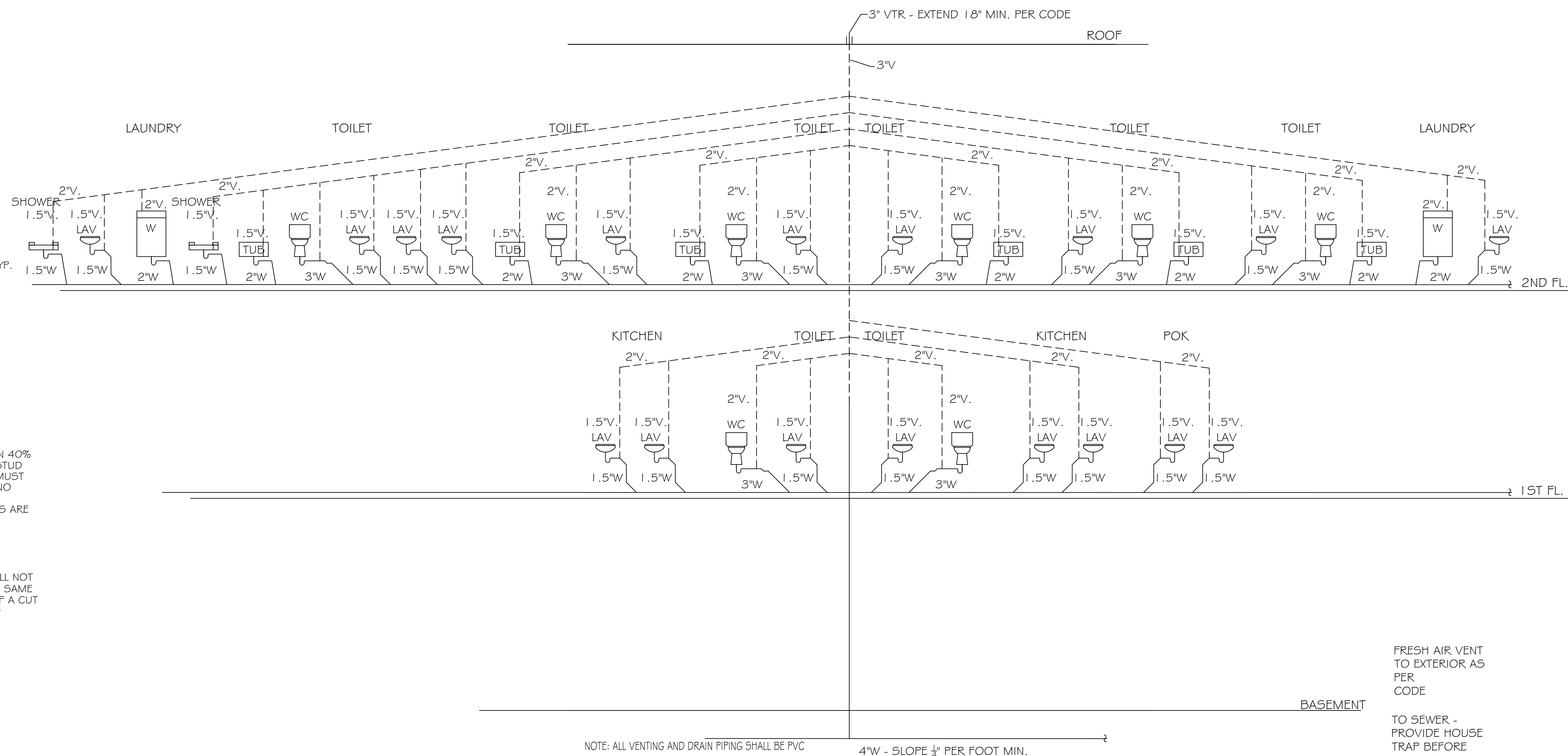
IF HOLE IS BETWEEN 40% AND 60% OF THE STUD DEPTH, THE STUD MUST BE DOUBLED AND NO MORE THAN TWO SUCCESSIVE STUDS ARE DOUBLED AND SO BORED.

BORED HOLES SHALL NOT BE LOCATED IN THE SAME CROSS SECTION OF A CUT OR NOTCH IN STUD

5 NOTCHING & BORED HOLE DETAILS
A15 SCALE: NTS FIGURE R602.6(2)



1 MINIMUM PLUMBING FIXTURE CLEARANCES
A15 SCALE: 1/4" = 1'-0"



NOTE: ALL VENTING AND DRAIN PIPING SHALL BE PVC 4"W - SLOPE 1/4" PER FOOT MIN.

2 PLUMBING RISER DIAGRAM - VENT & WASTE
A15 SCALE: NTS

FRESH AIR VENT TO EXTERIOR AS PER CODE
TO SEWER - PROVIDE HOUSE TRAP BEFORE EXITING THE HOUSE

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PROPOSED HOUSE FOR:
THE WEISS AND HERSHKOWITZ FAMILIES
26 HAWTHORNE DRIVE
VILLAGE OF SOUTH BLOOMING GROVE,
Orange County New York

DRAWN BY	EH
DATE:	REV.#:
11-24-2023	-
REVIEWED BY	OPTION:
DATE:	DESCRIPTION:

DESCRIPTION:
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SCALE AS NOTED