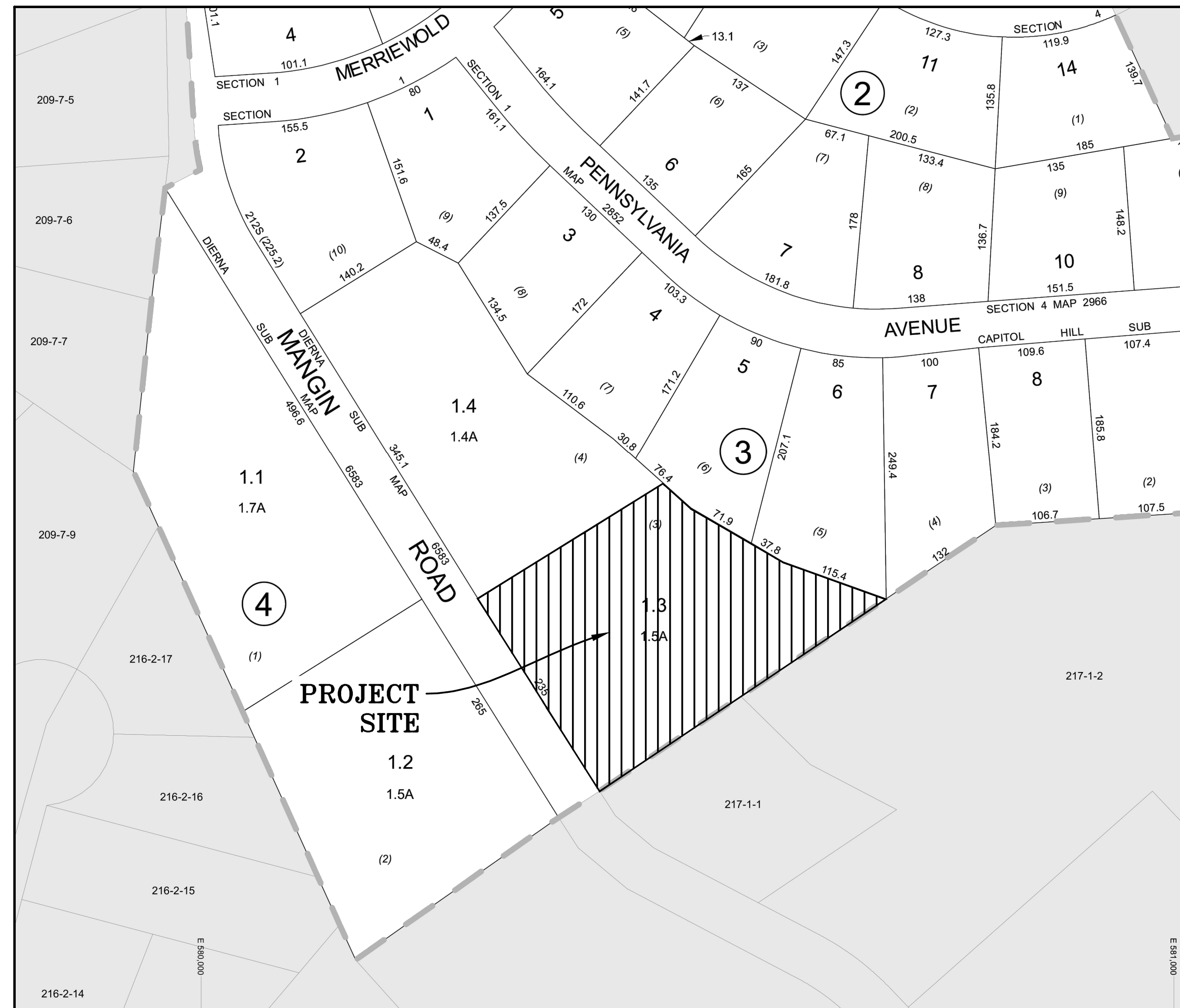


SITE PLAN PREPARED FOR MANGIN VILLAS LLC VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK



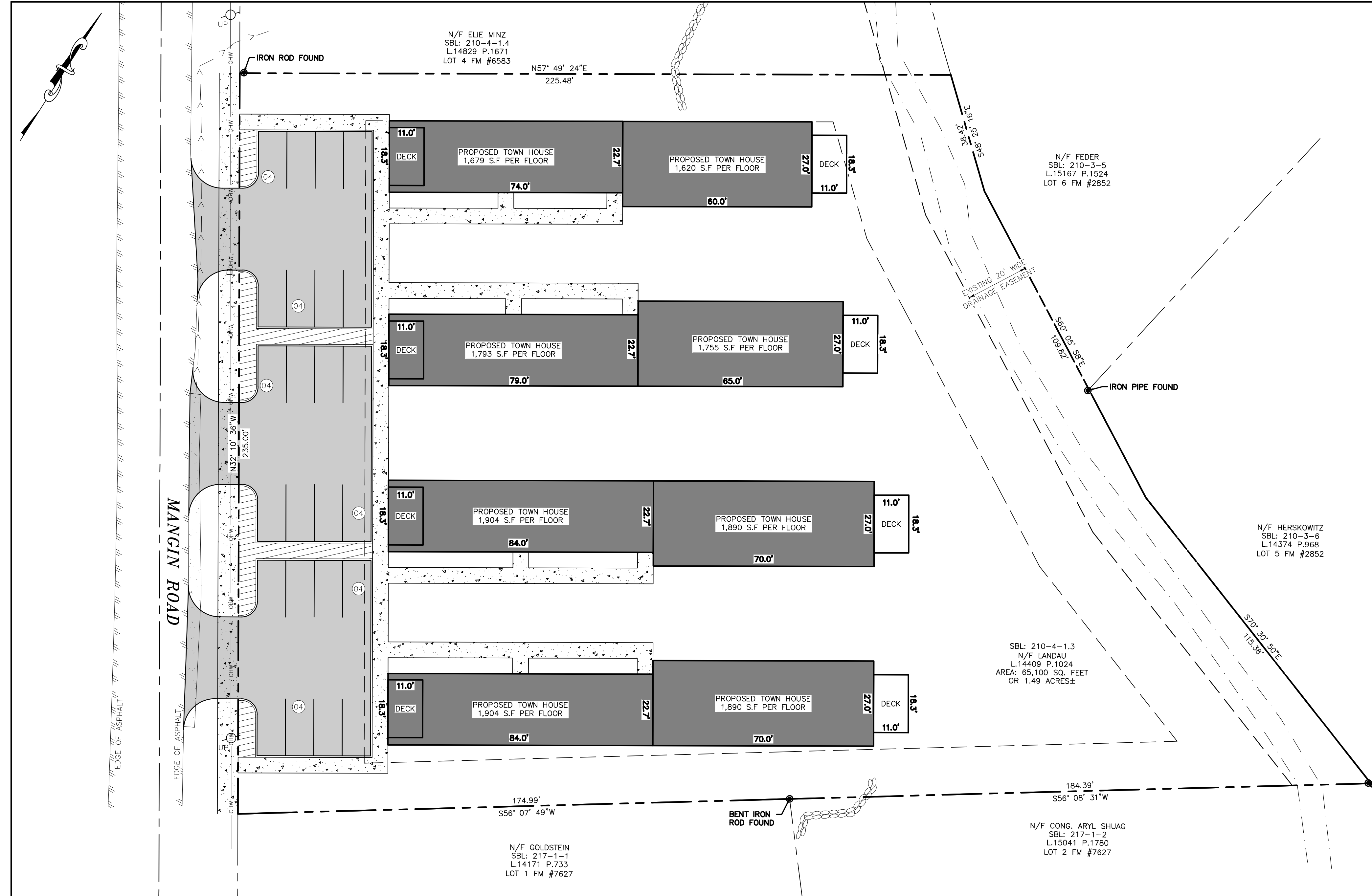
LOCATION MAP
SCALE: 1"=100'

GENERAL NOTES:

1. RECORD OWNER & APPLICANT:
OWNER: LDL ESTATES LLC
29 VIRGINIA AVE
MONROE NY 10950
APPLICANT: MANGIN VILLAS LLC
1170 ROUTE 17M SUITE 1
CHESTER NY 10918
2. PROPERTY ADDRESS:
47 MANGIN ROAD,
VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK
3. TAX MAP NUMBER:
SECTION 210, BLOCK 4, LOT 1.3
4. DEED REFERENCE:
LIBER 15496, PAGE 682
5. PARCEL AREA/SIZE: 64,389 SF

DRAWING LIST

SHEET #	SHEET TITLE	ORIGINAL DATE / LAST REVISED DATE
01 OF 04	TITLE SHEET	03-07-24 / 08-13-24
02 OF 04	EXISTING CONDITIONS PLAN	03-07-24 / 08-13-24
03 OF 04	DEMOLITION PLAN	03-07-24 / 08-13-24
04 OF 04	SITE PLAN	03-07-24 / 08-13-24



TITLE SHEET
SCALE: 1"=20'

REV.	BY	DATE	DESCRIPTION
2	MM	08-13-24	PER CDRC MEETING
1	MM	04-23-24	PER PB MTG. & PB ENGINEER COMMENTS

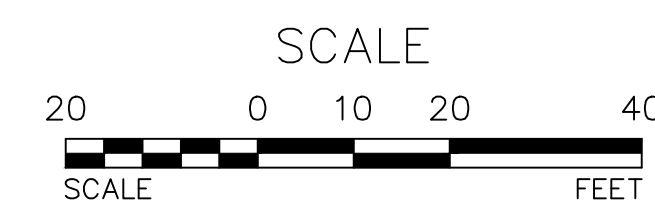
THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN PREPARED FOR
MANGIN VILLAS LLC
VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK

TITLE SHEET

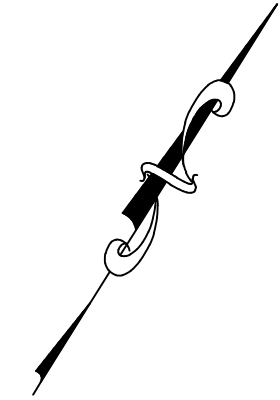
JOB#: 24-013
SCALE: AS NOTED
DATE: 03-07-24
DRAWN: MM
CHECKED: MM
SHEET NO. 01 of 04



WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

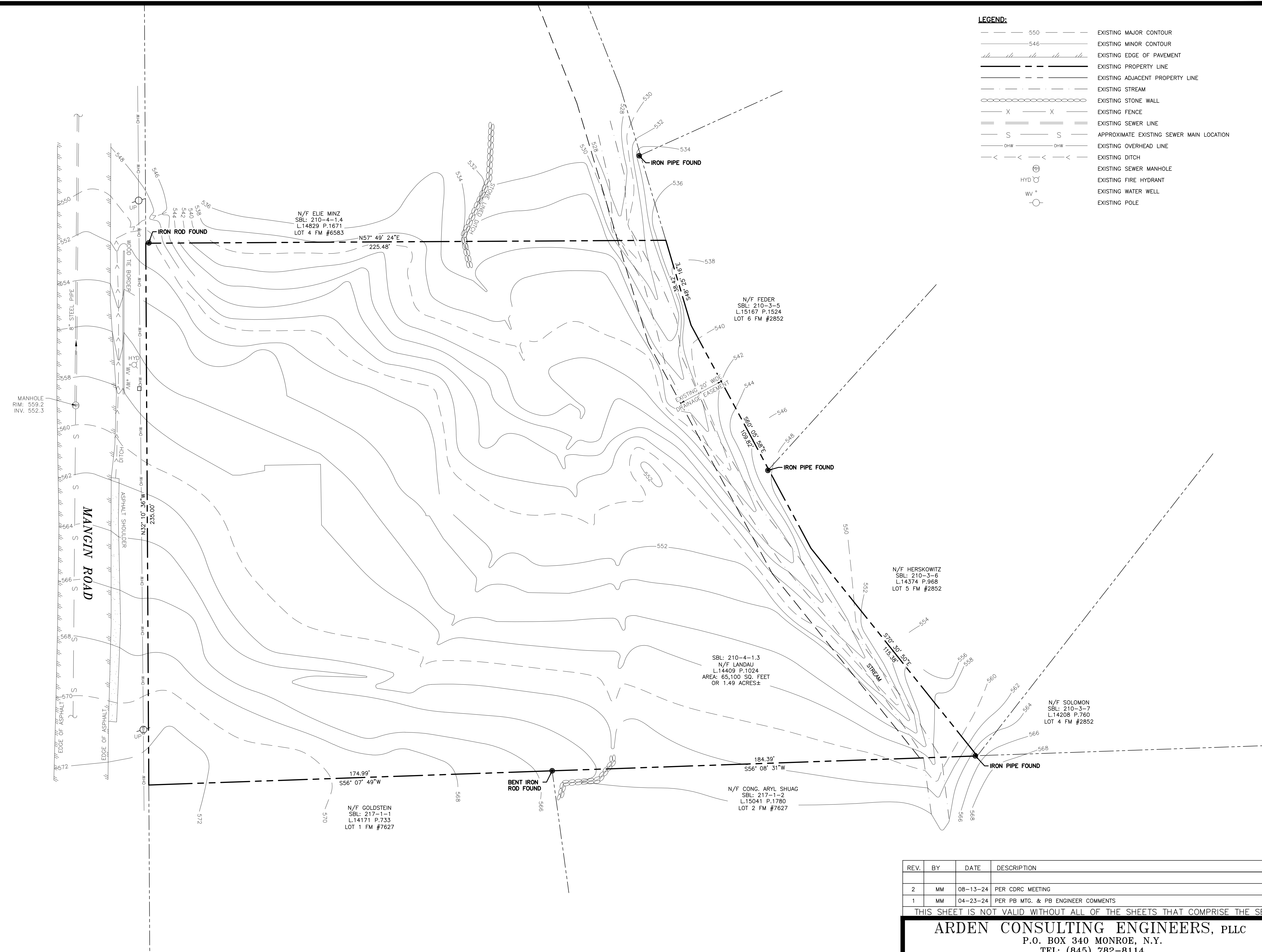


ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.



LEGEND:

	550	EXISTING MAJOR CONTOUR
	546	EXISTING MINOR CONTOUR
		EXISTING EDGE OF PAVEMENT
		EXISTING PROPERTY LINE
		EXISTING ADJACENT PROPERTY LINE
		EXISTING STREAM
		EXISTING STONE WALL
		EXISTING FENCE
		EXISTING SEWER LINE
		APPROXIMATE EXISTING SEWER MAIN LOCATION
		EXISTING OVERHEAD LINE
		EXISTING DITCH
		EXISTING SEWER MANHOLE
	HYD	EXISTING FIRE HYDRANT
	WV	EXISTING WATER WELL
		EXISTING POLE

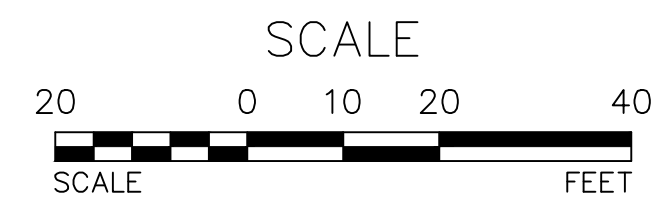


WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.



EXISTING CONDITIONS PLAN
SCALE: 1"=20'



REV.	BY	DATE	DESCRIPTION
2	MM	08-13-24	PER CDRC MEETING
1	MM	04-23-24	PER PB MTG. & PB ENGINEER COMMENTS

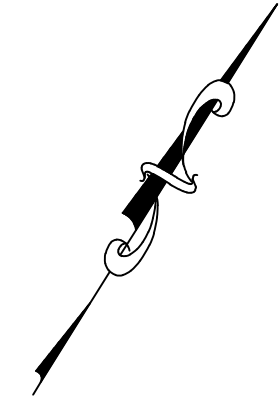
THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN PREPARED FOR
MANGIN VILLAS LLC
VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK

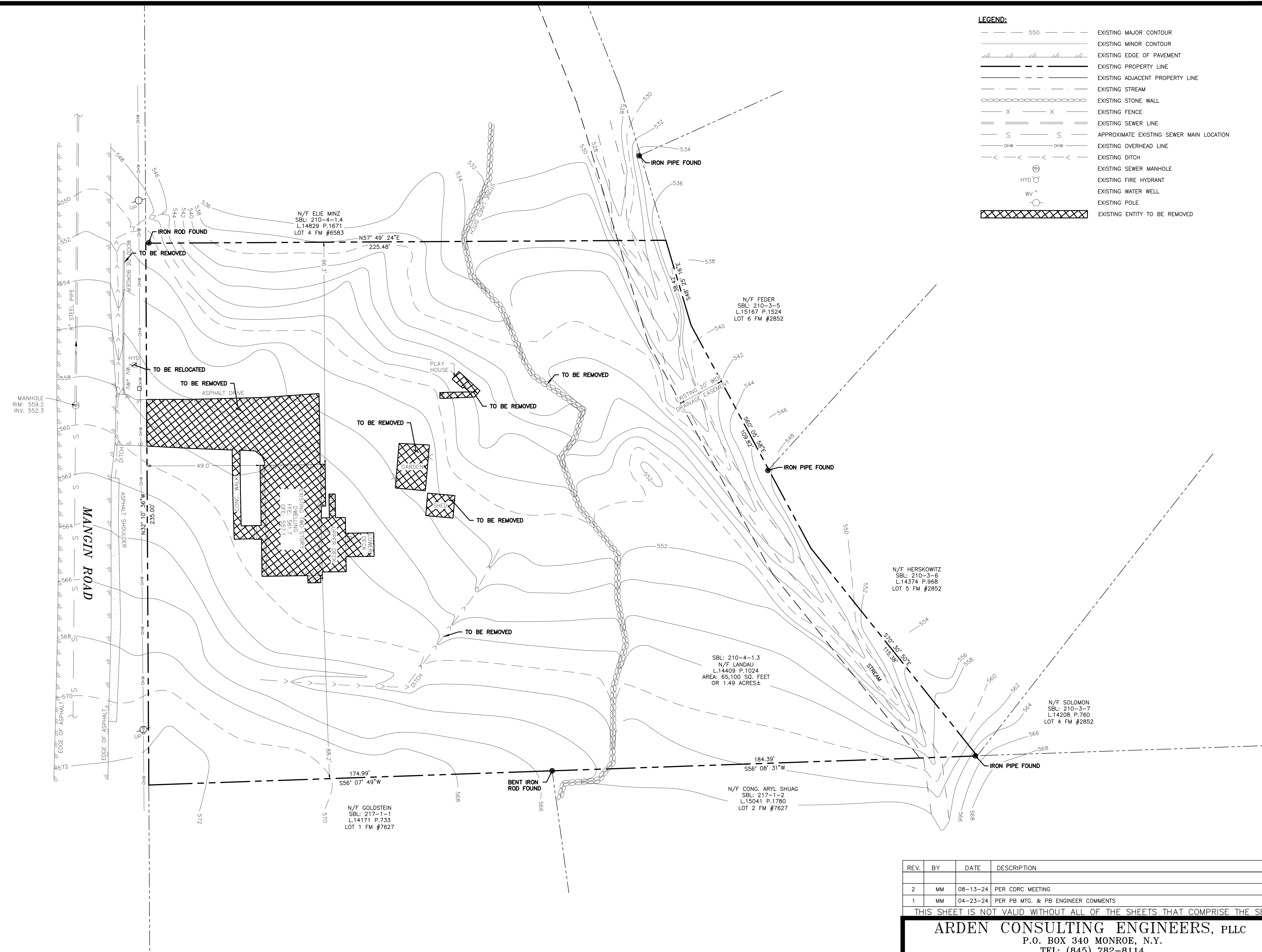
EXISTING CONDITIONS PLAN

MICHAEL A. MORGANTE, P.E. LIC. NO. 78577	JOB#: 24-013 SCALE: AS NOTED DATE: 03-07-24 DRAWN: MM CHECKED: MM SHEET NO. 02 of 04
---	---



LEGEND:

	550	EXISTING MAJOR CONTOUR
		EXISTING MINOR CONTOUR
		EXISTING EDGE OF PAVEMENT
		EXISTING PROPERTY LINE
		EXISTING ADJACENT PROPERTY LINE
		EXISTING STREAM
		EXISTING STONE WALL
		EXISTING FENCE
		EXISTING SEWER LINE
		APPROXIMATE EXISTING SEWER MAIN LOCATION
		EXISTING OVERHEAD LINE
		EXISTING DITCH
		EXISTING SEWER MANHOLE
		EXISTING FIRE HYDRANT
		EXISTING WATER WELL
		EXISTING POLE
		EXISTING ENTITY TO BE REMOVED

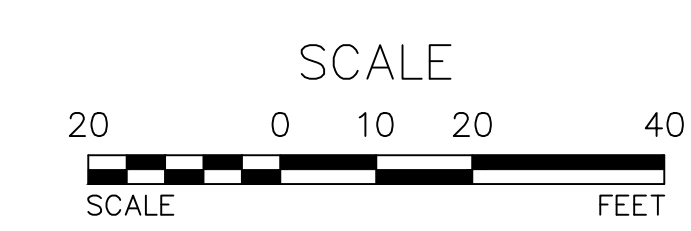


WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.



DEMOLITION PLAN
SCALE: 1"=20'



REV.	BY	DATE	DESCRIPTION
2	MM	08-13-24	PER CDRC MEETING
1	MM	04-23-24	PER PB MTG. & PB ENGINEER COMMENTS

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

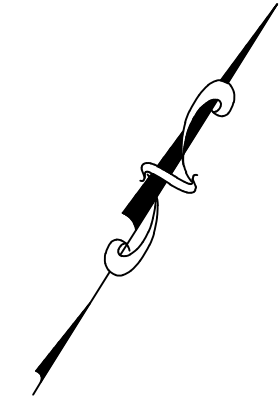
ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN PREPARED FOR
MANGIN VILLAS LLC
VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK

DEMOLITION PLAN

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

JOB#: 24-013
SCALE: AS NOTED
DATE: 03-07-24
DRAWN: MM
CHECKED: MM
SHEET NO. 03 of 04



LEGEND:

	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING STREAM
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING SEWER LINE
	APPROXIMATE EXISTING SEWER MAIN LOCATION
	EXISTING OVERHEAD LINE
	EXISTING DITCH
	EXISTING SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER WELL
	EXISTING POLE
	PROPOSED SETBACK
	PROPOSED 6" SDR 35 SEWER LATERAL
	PROPOSED 4" TYPE K WATER SERVICE LINE
	PROPOSED SIDEWALK

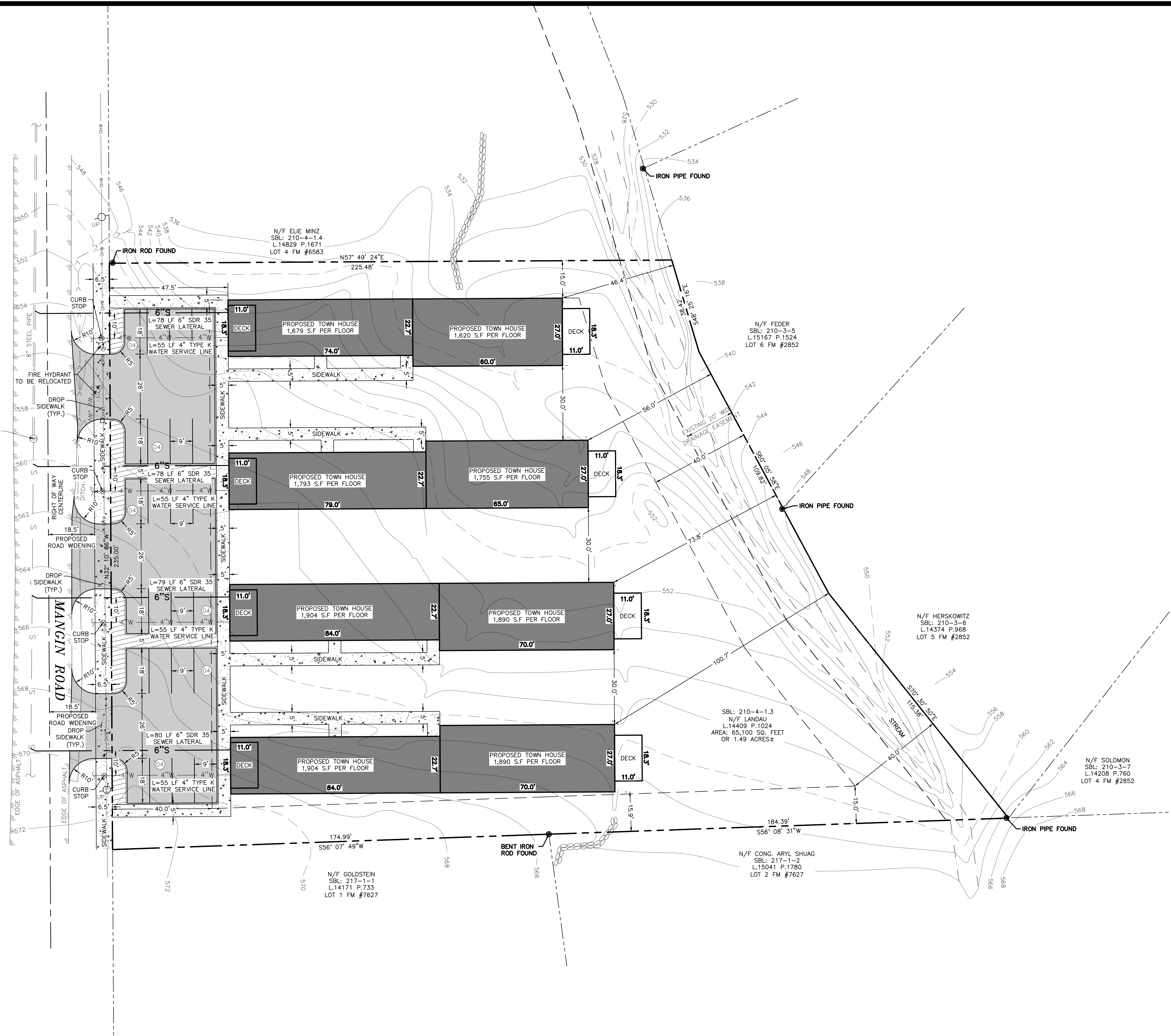
BULK REQUIREMENTS - ZONING DISTRICT: RB (RESIDENCE B)

	REQUIRED	PROVIDED
MIN. LOT AREA (GROSS) (SF)	12,000	65,100
MIN. LOT AREA (NET) (SF)	10,000	63,366
MINIMUM FRONTAGE (FT.)	60*	235
MAXIMUM BUILDING COVERAGE (%)	50	22.17
MIN. FRONT YARD SETBACK (FT.)	40**	47.5
MIN. REAR YARD SETBACK (FT.)	40	46.4
MIN. SIDE YARD SETBACK (FT.)	15	15
MAX. HEIGHT (STORIES)	35	35

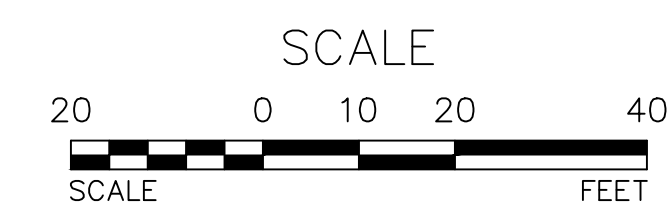
* MINIMUM FRONTAGE ON CURVED LOTS SHALL BE MEASURED AT THE FRONT SETBACK LINE.
 ** MINIMUM FRONT YARD SHALL BE 40 FEET AS MEASURED FROM THE EDGE OF PAVEMENT.

NOTE:

GROSS = CALCULATIONS INCLUDE AREA THROUGH THE CENTER LINE OF THE PROPERTY'S (RIGHT-OF-WAY) ROAD
 FRONTAGE NET = CALCULATIONS EXCLUDE AREA THROUGH THE CENTER LINE OF THE PROPERTY'S (RIGHT-OF-WAY) ROAD



SITE PLAN
SCALE: 1"=20'



WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.



REV.	BY	DATE	DESCRIPTION
2	MM	08-13-24	PER CDRC MEETING
1	MM	04-23-24	PER PB MTG. & PB ENGINEER COMMENTS

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
 P.O. BOX 340 MONROE, N.Y.
 TEL: (845) 782-8114
 WWW.ARDENCONSULTING.NET

SITE PLAN PREPARED FOR
MANGIN VILLAS LLC
 VILLAGE OF SOUTH BLOOMING GROVE,
 ORANGE COUNTY, NEW YORK

SITE PLAN

MICHAEL A. MORGANTE, P.E.
 LIC. NO. 78577

JOB#: 24-013
 SCALE: AS NOTED
 DATE: 03-07-24
 DRAWN: MM
 CHECKED: MM
 SHEET NO. 04 OF 04