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## Orange County Department of Planning

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### County Reply – Mandatory Review of Local Planning Action as per NYS General Municipal Law §239-l, m, & n

**Local Referring Board:** Village of South Blooming Grove Board

**Applicant:** Stonefield Engineering

**Project Name:** 5 Mangin Road

**Proposed Action:** Site Plan and Special Use Permit for new construction of 6,000 sq. ft. supermarket and associated parking lot on previously-developed site. Revised site plan shows demolition of existing residence

**Reason for County Review:** Within 500 feet of NYS Route 208

**Date of Full Statement:** September 12, 2022

**Referral ID #:** SBG 06-22M

**Tax Map #:** 209-8-1

**Local File #:** none provided

#### Comments:

The Department has received the above referenced site plan and special use permit and has found no evidence that significant intermunicipal or countywide impacts would result from its approval. We would like to offer the following advisory comments:


Environmental Constraints: The proposed project is in an area known to contain habitat suitable for endangered or threatened species, including the Northern Long-Eared Bat and the Indiana Bat. We advise the Village and the applicant to ensure that best practices are followed during construction, in order to minimize any accidental takings of these species. Best practices are likely to include times for tree harvesting, among other measures.

Proposal: The original proposal for this project included the retention of the existing residence; the updated site plan, received September 12, 2022, does not propose to retain the residence, in order to include additional parking spaces. The existing residence, per County records was built in 1775, although there do not appear to be any listings for the residence on either the National or State Registers of Historic Places. We advise the Village to contact the New York State Office of Parks, Recreation and Historic Preservation to assess whether the existing residence should be retained for historic purposes and if so, how best to preserve it.

**County Recommendation:** Local Determination

**Date:** September 12, 2022

**Prepared by:** Megan Tennermann, AICP  
Senior Planner

  
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Commissioner of Planning

As per NYS General Municipal Law 239-m & n, within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at [www.orangecountygov.com/planning](http://www.orangecountygov.com/planning).