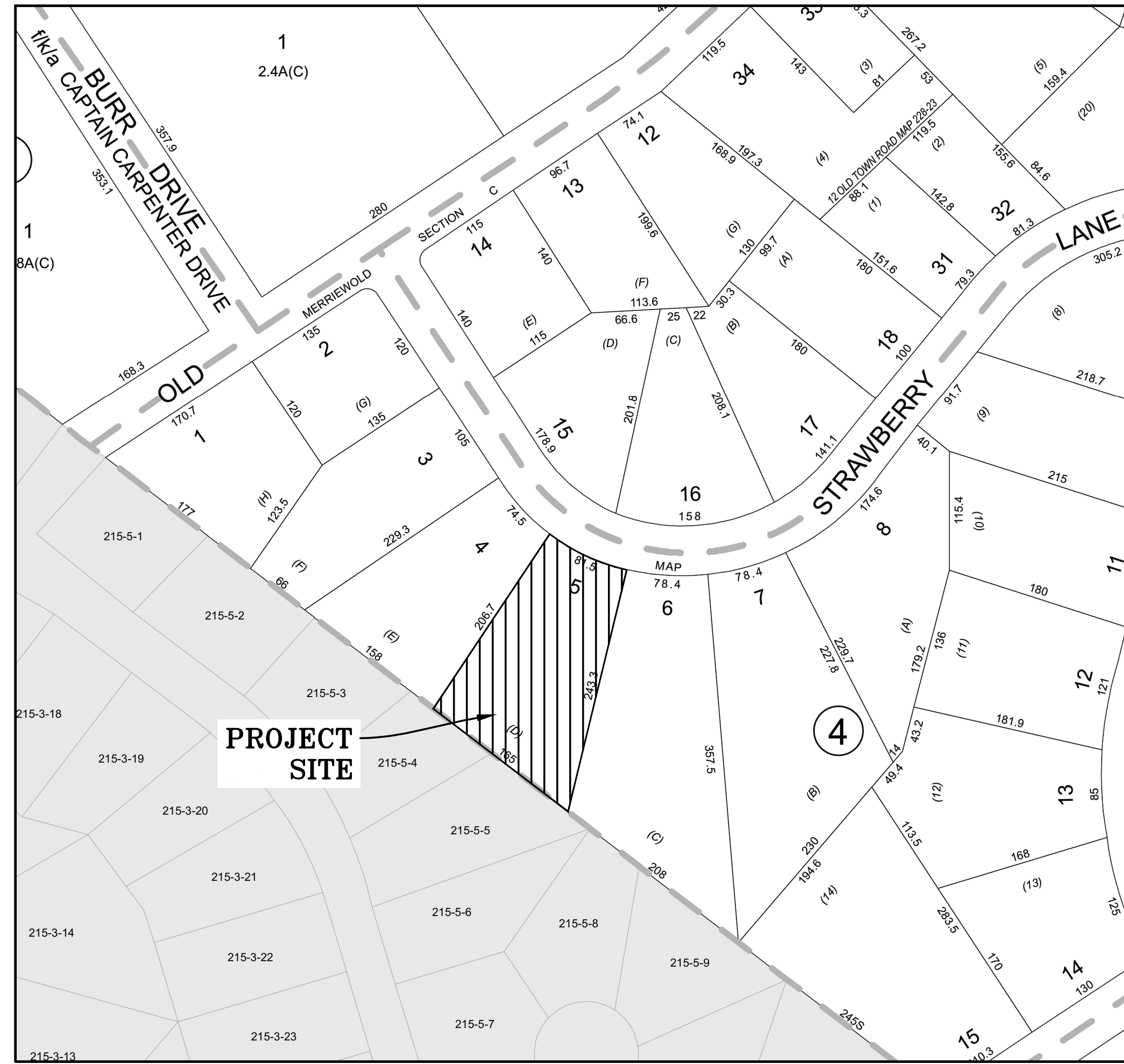
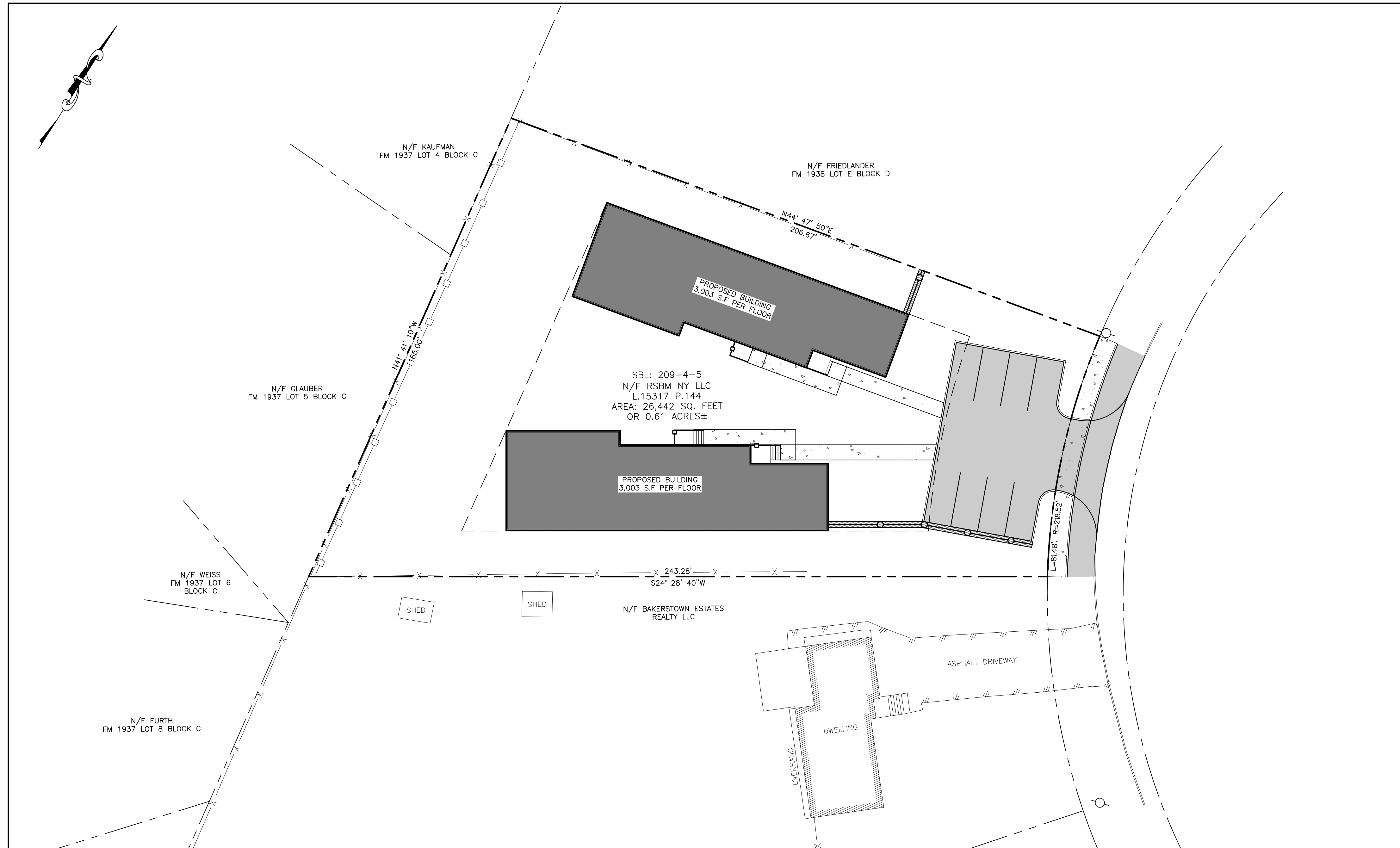


# SITE PLAN PREPARED FOR 6 STRAWBERRY LANE VILLAGE OF SOUTH BLOOMING GROVE ORANGE COUNTY, NEW YORK



**LOCATION MAP**  
SCALE: 1"=100'



**TITLE SHEET**  
SCALE: 1"=20'

**GENERAL NOTES:**

1. RECORD OWNER:  
RBSM NY LLC.  
6 STRAWBERRY LANE  
MONROE NY 10950
2. PROPERTY ADDRESS:  
6 STRAWBERRY LANE  
VILLAGE OF SOUTH BLOOMING GROVE  
ORANGE COUNTY, NEW YORK
3. TAX MAP NUMBER:  
SECTION 209, BLOCK 4, LOT 5
4. DEED REFERENCE:  
LIBER 15317, PAGE 144
5. PARCEL AREA/SIZE:  
26,442 SF OR 0.61 ACRES
6. ALL PROPOSED BUILDING SHALL PROVIDE FIRE PROTECTION WHICH AT A MINIMUM INCLUDES FIRE SPRINKLERS AND FIRE WALLS, IN ACCORDANCE WITH NYS BUILDING CODE.

**DRAWING LIST**

SHEET #	SHEET TITLE	ORIGINAL DATE / LAST REVISED DATE
01 OF 11	TITLE SHEET	11-14-24 /
02 OF 11	EXISTING CONDITIONS PLAN	11-14-24 /
03 OF 11	DEMOLITION PLAN	11-14-24 /
04 OF 11	SITE PLAN	11-14-24 /
05 OF 11	GRADING & UTILITY PLAN	11-14-24 /
06 OF 11	EROSION & SEDIMENT CONTROL PLAN	11-14-24 /
07 OF 11	EROSION & SEDIMENT CONTROL DETAILS	11-14-24 /
08 OF 11	SANITARY DETAILS	11-14-24 /
09 OF 11	WATER SUPPLY DETAILS	11-14-24 /
10 OF 11	CONSTRUCTION DETAILS	11-14-24 /
11 OF 11	CONSTRUCTION SPECIFICATIONS	11-14-24 /

UDIG NY MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION

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REV.	BY	DATE	DESCRIPTION

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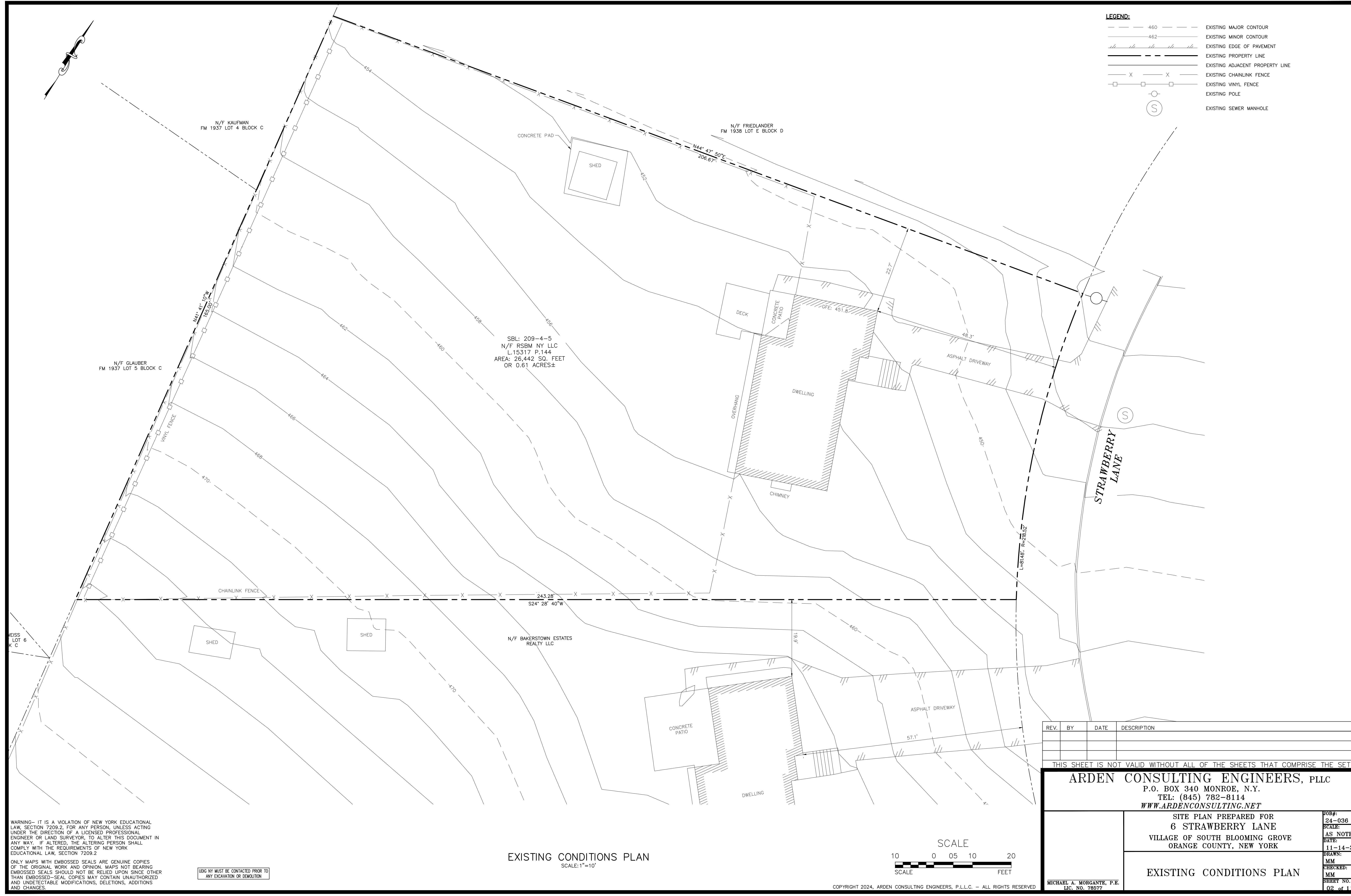
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SITE PLAN PREPARED FOR  
**6 STRAWBERRY LANE**  
VILLAGE OF SOUTH BLOOMING GROVE  
ORANGE COUNTY, NEW YORK

**TITLE SHEET**

JOB#: 24-036  
SCALE: AS NOTED  
DATE: 11-14-24  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 01 of 11

- LEGEND:**
- 460 --- EXISTING MAJOR CONTOUR
  - 462 --- EXISTING MINOR CONTOUR
  - EXISTING EDGE OF PAVEMENT
  - EXISTING PROPERTY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - X-X- EXISTING CHAINLINK FENCE
  - EXISTING VINYL FENCE
  - EXISTING POLE
  - S- EXISTING SEWER MANHOLE



SBL: 209-4-5  
 N/F RSBM NY LLC  
 L.15317 P.144  
 AREA: 26,442 SQ. FEET  
 OR 0.61 ACRES±

N/F KAUFMAN  
 FM 1937 LOT 4 BLOCK C

N/F FRIEDLANDER  
 FM 1938 LOT E BLOCK D

N/F GLAUBER  
 FM 1937 LOT 5 BLOCK C

N/F BAKERSTOWN ESTATES  
 REALTY LLC

WEISS  
 LOT 6  
 K C

STRAWBERRY LANE

REV.	BY	DATE	DESCRIPTION

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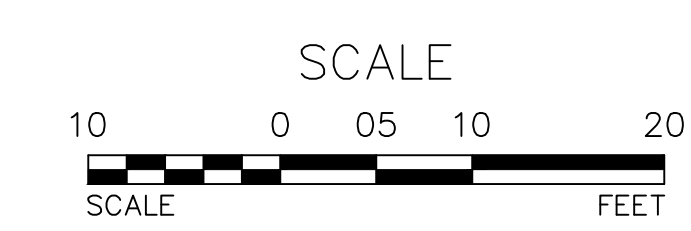
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SITE PLAN PREPARED FOR  
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 VILLAGE OF SOUTH BLOOMING GROVE  
 ORANGE COUNTY, NEW YORK

**EXISTING CONDITIONS PLAN**

JOB#: 24-036  
 SCALE: AS NOTED  
 DATE: 11-14-24  
 DRAWN: MM  
 CHECKED: MM  
 SHEET NO: 02 of 11

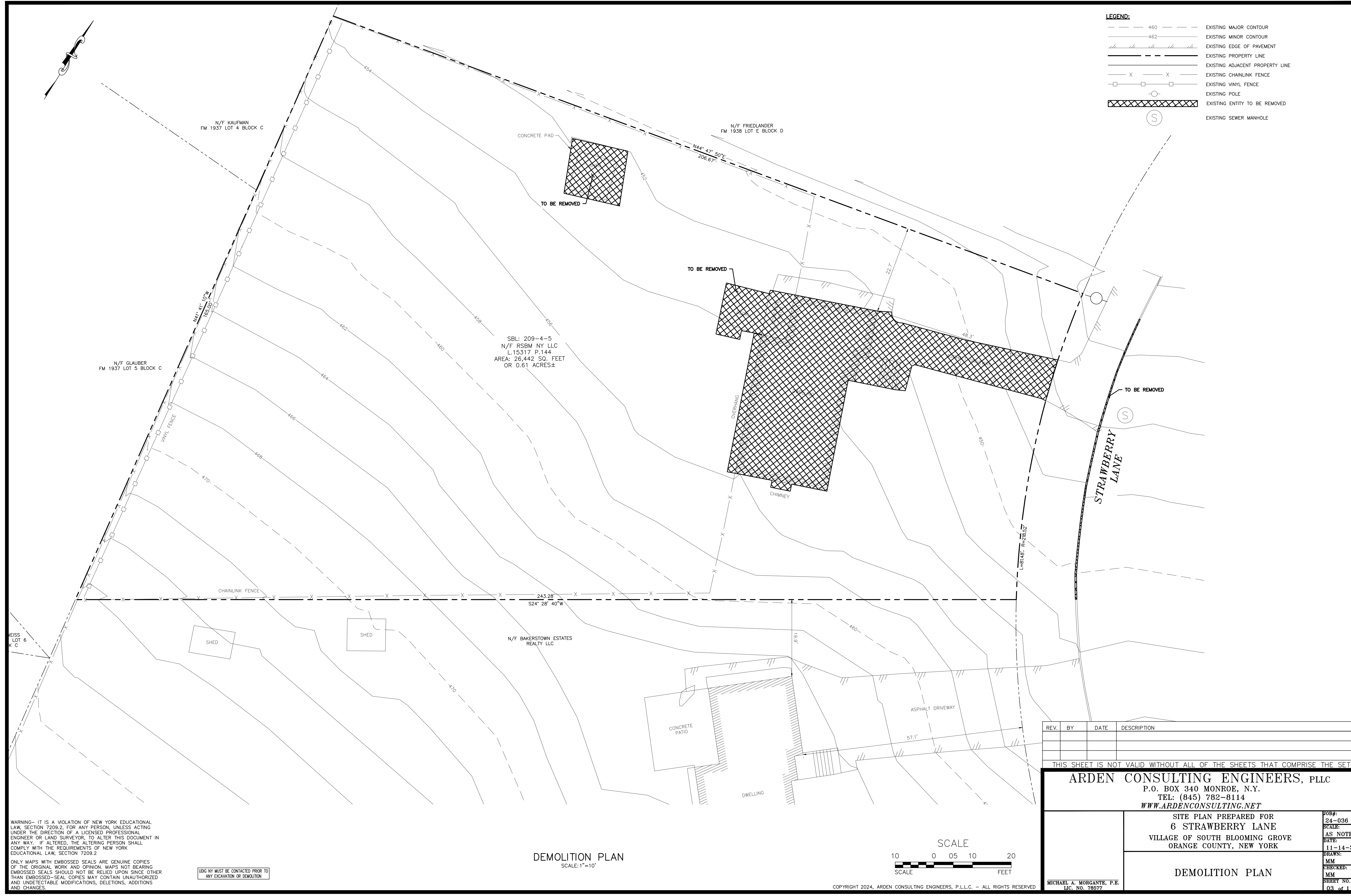
**EXISTING CONDITIONS PLAN**  
 SCALE: 1"=10'



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  - X-X- EXISTING CHAINLINK FENCE
  - EXISTING VINYL FENCE
  - EXISTING POLE
  - ⊗ EXISTING ENTITY TO BE REMOVED
  - ⊙ EXISTING SEWER MANHOLE



SBL: 209-4-5  
 N/F RSBM NY LLC  
 L.15317 P.144  
 AREA: 26,442 SQ. FEET  
 OR 0.61 ACRES±

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 FM 1937 LOT 4 BLOCK C

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**DEMOLITION PLAN**

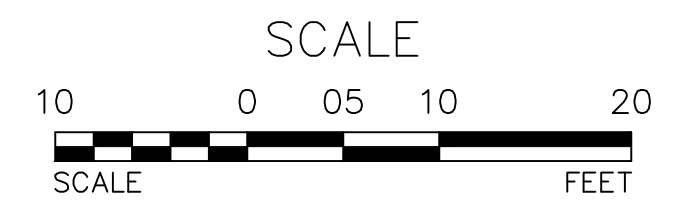
JOB#: 24-036
SCALE: AS NOTED
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**DEMOLITION PLAN**  
 SCALE: 1"=10'



**LEGEND:**

	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING CHAINLINK FENCE
	EXISTING VINYL FENCE
	EXISTING POLE
	EXISTING SEWER MANHOLE
	PROPOSED FENCE
	PROPOSED RETAINING WALL

**BULK REQUIREMENTS**  
ZONING DISTRICT: RB (RESIDENCE B)

	REQUIRED	PROVIDED
MIN. LOT AREA (GROSS)	12,000 SF	26,442.30 SF
MIN. LOT AREA (NET)	10,000 SF	26,442.30 SF
MINIMUM FRONTAGE (FEET)	*	81.48
MAXIMUM BUILDING COVERAGE (%)	*	22.71
MIN. FRONT YARD SETBACK (FEET)	*	61.2
MIN. REAR YARD SETBACK (FEET)	*	40.0
MIN. SIDE YARD SETBACK (FEET)	*	15.1
MAX. HEIGHT (FEET)	35.0	35.0
MAX. HEIGHT (STORIES)	2 STORIES	2 STORIES

- \* DETERMINED DURING THE SUBDIVISION PROCESS BY THE PLANNING BOARD
- \*\* MINIMUM FRONTAGE ON CURVED LOTS SHALL BE MEASURED AT THE FRONT SETBACK LINE.
- \*\*\* MINIMUM FRONT YARD SHALL BE 40 FEET AS MEASURED FROM THE EDGE OF PAVEMENT.

**NOTE:**  
GROSS = CALCULATIONS INCLUDE AREA THROUGH THE CENTER LINE OF THE PROPERTY'S (RIGHT-OF-WAY) ROAD  
FRONTAGE NET = CALCULATIONS EXCLUDE AREA THROUGH THE CENTER LINE OF THE PROPERTY'S (RIGHT-OF-WAY) ROAD



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**SITE PLAN**

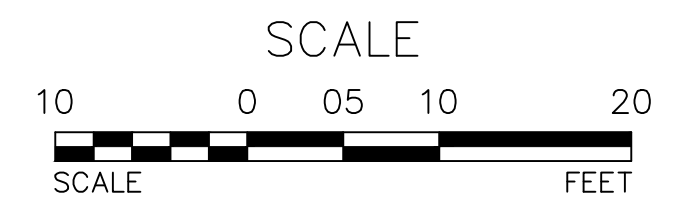
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**SITE PLAN**  
SCALE: 1"=10'



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  - EXISTING PROPERTY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - X X EXISTING CHAINLINK FENCE
  - □ EXISTING VINYL FENCE
  - EXISTING POLE
  - EXISTING SEWER MANHOLE
  - 450 --- PROPOSED MAJOR CONTOURS
  - 448 --- PROPOSED MINOR CONTOURS
  - PROPOSED FENCE
  - PROPOSED RETAINING WALL
  - > -> -> -> PROPOSED RPZ DRAIN TO DAYLIGHT
  - FD FD PROPOSED FOOTING DRAIN TO DAYLIGHT
  - 6"S --- PROPOSED 6" SDR 35 SEWER LATERAL
  - 4"W --- 4"W --- PROPOSED 4" DIP WATER SERVICE LINE



**TREE CLEARING NOTE:**  
 NO TREE REMOVAL SHALL OCCUR FROM APRIL 1st TO OCTOBER 31st TO MITIGATE POTENTIAL HARMFUL IMPACTS TO INDIANA BAT & NORTHERN LONG EARED BAT.

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 ORANGE COUNTY, NEW YORK

**GRADING & UTILITY PLAN**

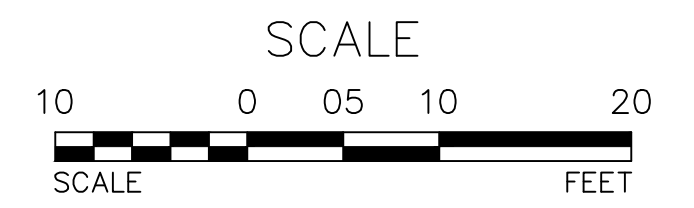
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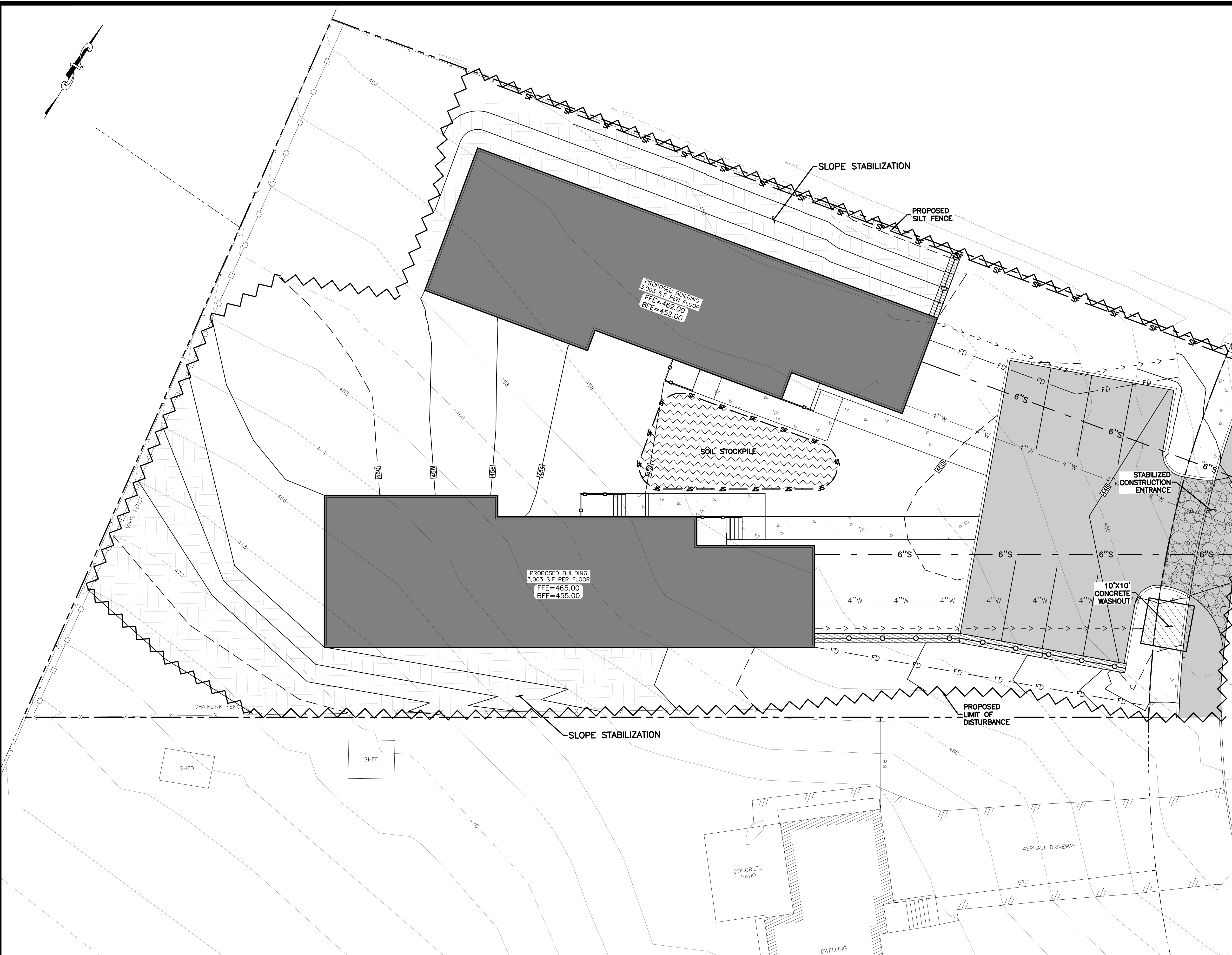
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**GRADING & UTILITY PLAN**  
 SCALE: 1"=10'



MICHAEL A. MORGANTE, P.E.  
 LIC. NO. 78577



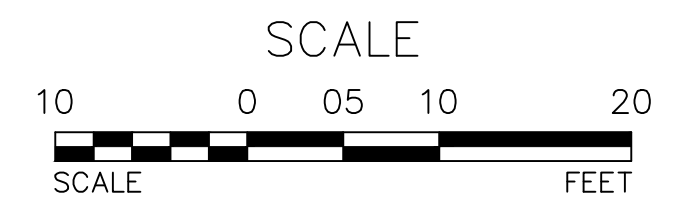
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  - >->->->->- PROPOSED RPZ DRAIN TO DAYLIGHT
  - FD FD PROPOSED FOOTING DRAIN TO DAYLIGHT
  - 6"S --- PROPOSED 6" SDR 35 SEWER LATERAL
  - 4"W 4"W --- PROPOSED 4" DIP WATER SERVICE LINE
  - ~~-~ PROPOSED LIMIT OF DISTURBANCE
  - SF-SF-SF- PROPOSED SILT FENCE
  - STABILIZED CONSTRUCTION ENTRANCE
- LIMITS OF DISTURBANCE AREA: 0.56 ACRES

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**EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=10'



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SITE PLAN PREPARED FOR  
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VILLAGE OF SOUTH BLOOMING GROVE  
ORANGE COUNTY, NEW YORK

**EROSION & SEDIMENT CONTROL PLAN**

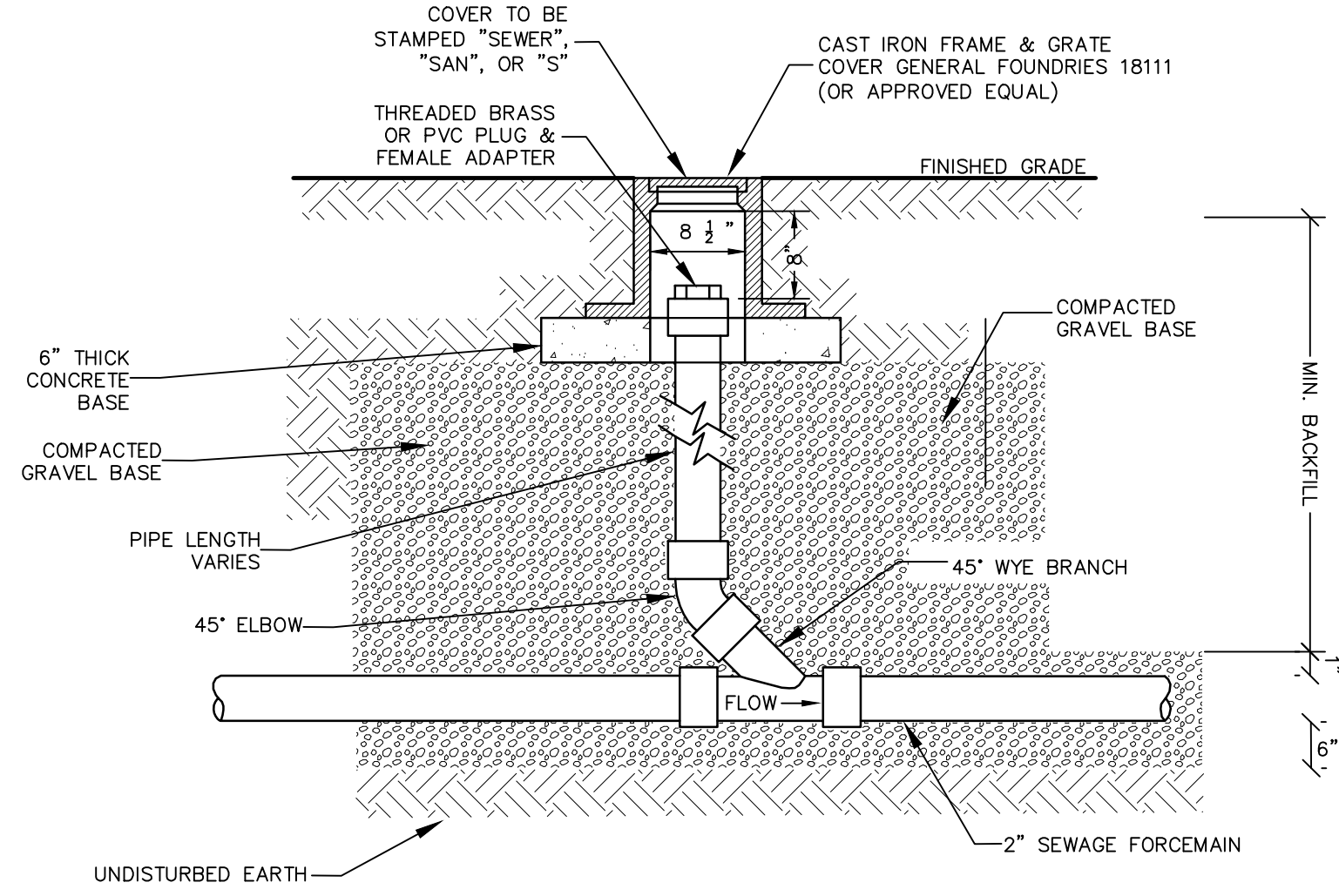
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SHEET NO: 06 of 11

MICHAEL A. MORGANTE, P.E.  
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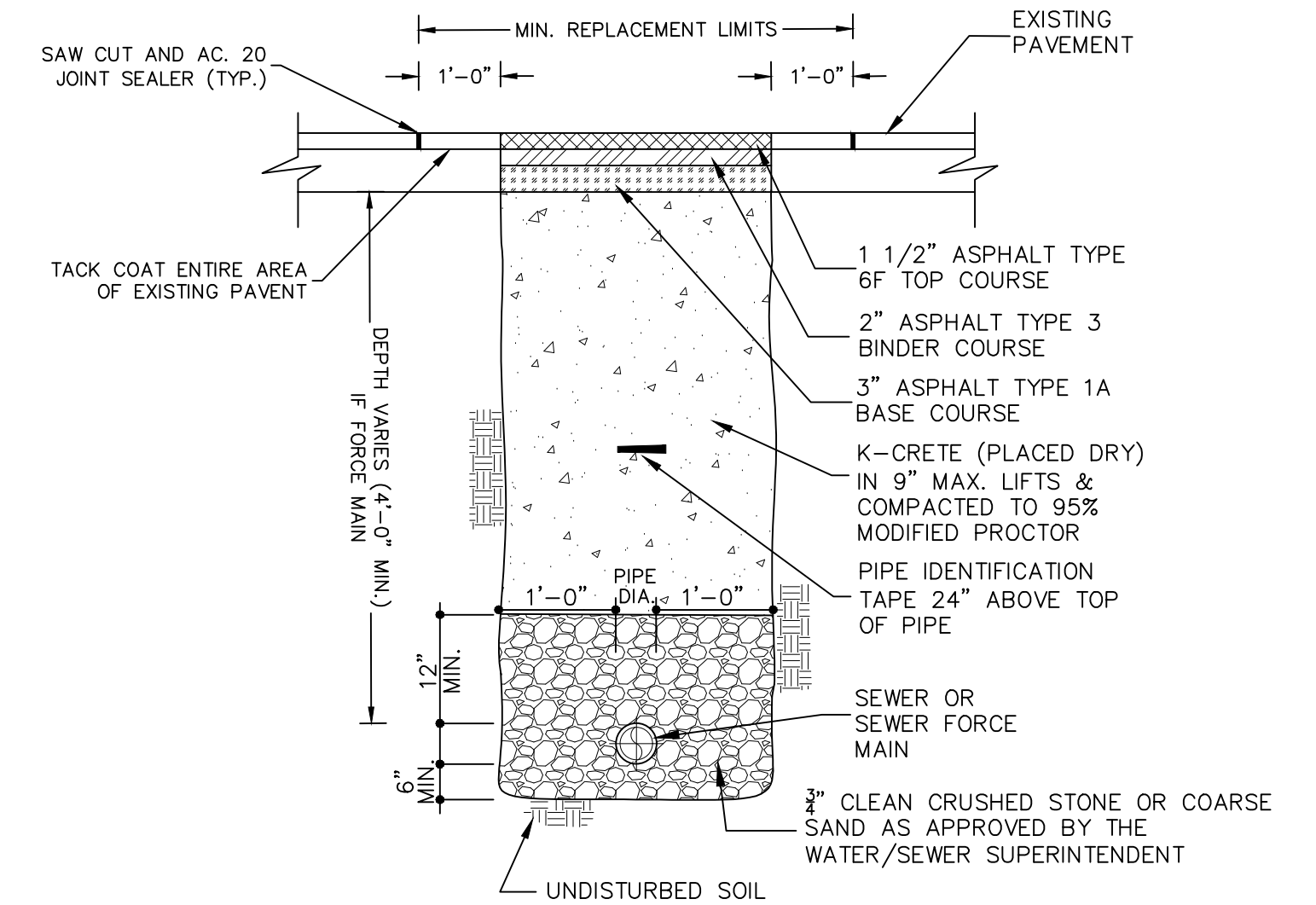
**SEWER NOTES:**

- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE, THEIR ACCURACY OR COMPLETENESS ARE NOT GUARANTEED BY THE ENGINEER. MARK OUTS FROM UTILITY COMPANIES AND FIELD CONFIRMATION BY CONTRACTOR MUST BE MADE PRIOR TO CONSTRUCTION SO THAT DISTURBANCE OR DISRUPTION TO THESE UTILITIES MAY BE AVOIDED. ALL EXISTING UTILITIES ARE TO BE COORDINATED WITH THE APPROPRIATE UTILITY FOR CONNECTION/DISCONNECTION WHERE NECESSARY.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF THE EXISTING UTILITY TO WHICH THE CONNECTION IS BEING MADE BEFORE LAYING PIPE, CONDUIT, ETC. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. IN CASES WHERE THE CONSTRUCTION OF ITEMS MEET EXISTING STRUCTURES, SUCH AS CURB, PAVEMENT, SIDEWALK, UTILITIES, ETC. THE CONTRACTOR OR SURVEYOR STAKING SUCH ITEMS SHALL VERIFY THE ELEVATION LOCATION OF THE EXISTING FEATURE PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE IN CONDUCTING EXCAVATIONS TO ESTABLISH LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND UTILITIES, FACILITIES AND STRUCTURES. THE CONTRACTOR SHALL HAND EXCAVATE WHERE APPROPRIATE.
- SANITARY SEWER SHALL BE SEPARATED FROM THE WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY IF HORIZONTAL SEPARATION IS NOT POSSIBLE.
- ALL SANITARY SEWER PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- ALL EQUIPMENT, MATERIALS, ETC. SHALL BE CONFINED TO THE PUBLIC RIGHTS OF WAY OR VILLAGE EASEMENTS. NO ENCROACHMENT ONTO ADJACENT PROPERTIES IS PERMITTED.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SITE SAFETY. ALL SAFETY PRECAUTIONS MUST BE UNDERTAKEN AND MAINTAINED AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE NYSDEC AND VILLAGE REGULATIONS REGARDING STORM WATER POLLUTION PREVENTION.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC (MPT WHEN WORKING ON OR NEAR PUBLIC ROADS. MPT MEASURES MUST BE COORDINATED WITH THE APPROPRIATE HIGHWAY OFFICIALS (TOWN, VILLAGE, AND NYSOT) HAVING JURISDICTION OVER EACH PARTICULAR ROADWAY.
- IN THE EVENT THAT THE CONTRACTOR OR ITS SUBCONTRACTORS DAMAGE ANY EXISTING UTILITY, FACILITY OR STRUCTURE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OF THE DAMAGED PROPERTY AND VILLAGE.
- ALL STRUCTURES AND SURFACES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS PRE-CONSTRUCTION OR BETTER CONDITION.
- THE CONTRACTOR SHALL REVIEW THE SITE CONDITIONS WITH RESPECT TO DRAINAGE AND GENERAL SOIL CONDITIONS IN THE AREA AND PLAN ITS WORK IN SUCH A MANNER TO WORK EFFICIENTLY AND SAFELY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONTROL OF SURFACE AND GROUNDWATER IN THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR STAGING AREAS FOR MATERIALS AND EQUIPMENT.
- THE CONTRACTOR SHALL ARRANGE FOR A SUITABLE AREA FOR THE STORAGE AND DISPOSAL OF EXCESS EXCAVATED SOIL MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS AND FEES ASSOCIATED WITH THE PROPER DISPOSAL OF SOIL AND OTHER MATERIALS FROM THE PROJECT.
- THE MORE STRICT OF ANY REQUIREMENT, CODE, RULE, REGULATION AND LAW ESTABLISHED BY THE VILLAGE OR OTHER GOVERNMENTAL AGENCY, INCLUDING BUT NOT LIMITED TO THE NEW YORK STATE DEPARTMENT OF HEALTH, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, UNITED STATES ARMY CORP OF ENGINEERS, UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION AND NEW YORK STATE DEPARTMENT OF LABOR FOR SANITARY SEWER SIZE, SLOPE, ALIGNMENT, MATERIALS OF CONSTRUCTION AND APPURTENANCES AND METHODS FOR EXCAVATING, PIPE PLACEMENT, JOINTING, TESTING AND TRENCH BACKFILLING SHALL BE COMPLIED WITH DURING ALL PHASES OF CONSTRUCTION.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS THAT ARE APPROVED BY THE VILLAGE. ANY DEVIATION FROM THE APPROVED PLANS AND/OR SPECIFICATIONS SHALL REQUIRE REVIEW AND APPROVAL BY THE VILLAGE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE PROJECT ENGINEER AND THE VILLAGE OF ANY PLANNED DEVIATION(S) FROM THE APPROVED PLANS AND/OR SPECIFICATIONS.
- FITTINGS SHALL BE STANDARD LENGTH.
- PIPE JOINTS SHALL BE STANDARD LENGTH.
- CONNECTION TO EXISTING SANITARY MANHOLE SHALL BE CORE BORED FOR A KOR-N-SEAL.



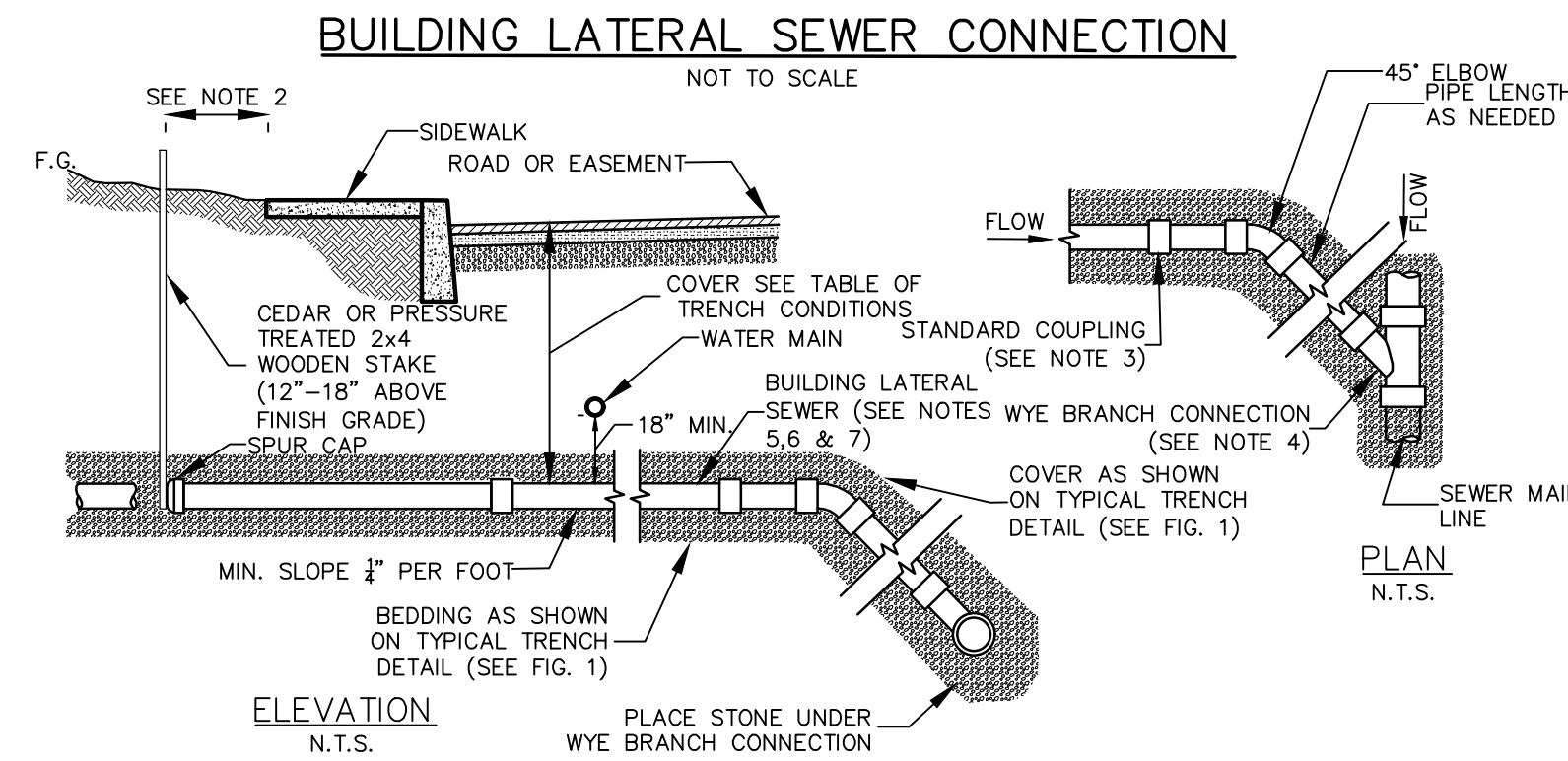
- NOTES:  
 1. CLEANOUT LOCATED IN A ROAD, DRIVEWAY OR PARKING AREA SHALL REQUIRE A CAMBELL FOUNDRY #4164 CAST IRON FRAME AND COVER. (OR APPROVED EQUAL).

**BUILDING LATERAL SEWER CLEANOUT (C.O.)**  
 NOT TO SCALE



- NOTE:  
 1. PAVEMENT AND SUBBASE MATERIAL SHALL AT A MINIMUM, MATCH THE EXISTING TYPES AND THICKNESSES FOUND WITHIN ANY TOWN, COUNTY OR STATE HIGHWAY, WHICHEVER IS GREATER.

**TYPICAL SEWER MAIN INSTALLATION/RESTORATION DETAIL IN VILLAGE STREET**  
 NOT TO SCALE



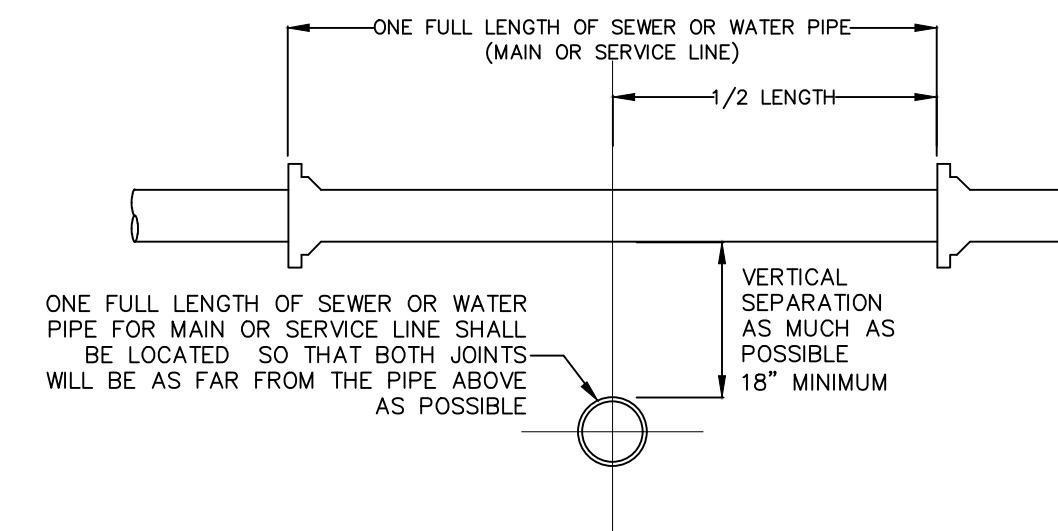
**SANITARY SEWER SPECIFICATIONS (FOR BUILDING LATERAL SEWERS AND SEWER MAIN LINE):**

- REQUIRED MAIN LINE SEWER (OR APPROVED EQUAL):
  - ABS-TRUSS PIPE:
    - PIPE: STAMPED ASTM D2680
    - FITTINGS: STAMPED ASTM D2680
    - JOINTS: SOLVENT WELD, ASTM D2235
  - PVC-TRUSS PIPE:
    - PIPE: STAMPED ASTM D2680
    - FITTINGS: STAMPED ASTM D2680
    - JOINTS: SOLVENT WELD, ASTM D2564 OR ELASTOMERIC (GASKET)
  - PVC - SDR 26 HEAVY WALL PIPE:
    - PIPE (18" - 15" DIAMETER): STAMPED ASTM D3034. PIPE (18" AND GREATER DIAMETER): STAMPED ASTM F679.
    - FITTINGS: STAMPED ASTM D3034 OR F679.
    - JOINTS: SOLVENT WELD ASTM D2564 OR ELASTOMERIC GASKET.
  - PVC - SDR 35 SOLID WALL PIPE:
    - PIPE (18" - 15" DIAMETER): STAMPED ASTM D3034. PIPE (18" AND GREATER DIAMETER): STAMPED ASTM F679.
    - FITTINGS: STAMPED ASTM D3034 OR ASTM F679.
    - JOINTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564.
- REQUIRED 4" OR 6" (AS APPROVED) BUILDING LATERAL SEWER (OR APPROVED EQUAL):
  - PVC - SDR 35 SOLID WALL PIPE:
    - PIPE: STAMPED ASTM D3034 AND SDR 35.
    - FITTINGS: STAMPED SDR 35 AND ASTM D3034.
    - JOINTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564.
  - SDR 26 HEAVY WALL PIPE:
    - PIPE: STAMPED ASTM D3034 AND SDR 26.
    - FITTINGS: STAMPED SDR 26 AND ASTM D3034.
    - JOINTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564.
  - SDR 23.5 ABS SOLID WALL PIPE:
    - PIPE: STAMPED ASTM D2751 AND SDR 23.5
    - FITTINGS: STAMPED SDR 23.5 ASTM D2751
    - JOINTS: SOLVENT WELD, ASTM D2235
- OTHER REQUIRED PIPE MATERIALS FOR BUILDING LATERAL SEWERS AND SEWER MAIN LINE (OR APPROVED EQUAL):
  - CAST IRON, EXTRA HEAVY, COATED, HUB & PLAIN END, ASTM C-74 WITH ELASTOMERIC COMPRESSION GASKET (ASTM C-564)
  - DUCTILE IRON PIPE: CLASS S2, CEMENT LINED AND TAR COATED INSIDE AND OUT.

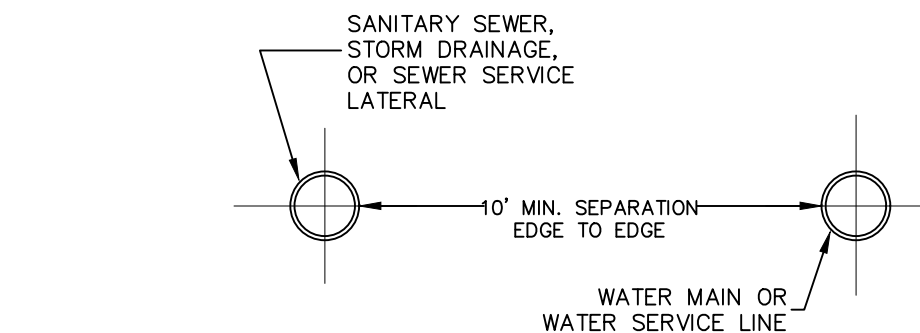
SPECIAL CONDITIONS FOR SHALLOW TRENCH CONDITIONS	
COVER	PIPE
LESS THAN 4'-0"	CLASS S2 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL.

**NOTES:**

- ALL APPROVED BUILDING LATERAL SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
- MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2'-0". IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2'-0" ONTO ALL BUILDING LOT PROPERTIES.
- TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).
- WYE BRANCH CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
- THE BUILDING LATERAL SEWER SHOWN FROM THE MAIN LINE SOURCE WYE BRANCH CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR ii) BUILDING LATERAL SEWER.
- 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING ALL COMMERCIAL USES) SHALL BE 6" IN DIAMETER.
- EACH 6" BUILDING LATERAL SEWER SHALL PROVIDE SERVICE FOR NO MORE THAN TWELVE (12) EQUIVALENT LIVING UNITS, AS DETERMINED BY OCS NO. 1, UNLESS A REQUESTED DEVIATION IS APPROVED IN WRITING BY OCS NO. 1.



**WATER & SEWER CROSSING DETAIL**  
 NOT TO SCALE



**WATER & SEWER HORIZONTAL SEPARATION**  
 NOT TO SCALE

**SEWER & WATER SEPARATION NOTES**

- WHEN IT IS IMPOSSIBLE TO MAINTAIN PROPER HORIZONTAL OR VERTICAL SEPARATION AS SHOWN, THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER MAIN, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- A FULL LENGTH OF BOTH PIPES CROSSING MUST BE CENTERED AT THE CROSSING.
- BEDDING MATERIAL SHALL BE INCREASED TO 12" BELOW THE LENGTH OF WATER MAIN PIPE FOR 10' ON EITHER SIDE OF THE CROSSING.
- TWO LAYERS OF CAUTION TRACER TAPE SHALL BE PLACED 18" MINIMUM ABOVE STORM SEWER MAINS.

**NOTES**

- SEPARATION DISTANCE BETWEEN WATER MAINS AND STORM/SEWER MAINS SHALL BE 10' HORIZONTAL AND 18" AT CROSSINGS. THESE SEPARATION DISTANCES MUST BE MAINTAINED UNLESS SPECIFICALLY SHOWN AND INDICATED OTHERWISE ON THE PLANS. THE PREFERRED CROSSING OPTION IS FOR THE WATER MAIN TO BE CONSTRUCTED ABOVE STORM/SEWER MAINS.
- SEWER MAIN INCLUDES SEWER LATERALS AND STORM DRAIN.
- WATER MAIN INCLUDES WATER SERVICE LATERALS.
- DEFLECT WATER MAIN IN AN ARC BENEATH THE SEWER/STORM LINE. DO NOT USE FITTINGS TO DEFLECT THE WATER MAIN.

**WATER OVER SEWER SEPARATION NOTES**

- FULL LENGTH OF BOTH PIPES CROSSING MUST BE CENTERED AT THE CROSSING SO THAT PIPE JOINTS WILL BE AS FAR FROM EACH OTHER AS POSSIBLE (10' MIN.).
- CONTRACTOR SHALL PROVIDE STRUCTURAL SUPPORT FOR EXISTING WATER MAIN OVER THE ENTIRE TRENCH WIDTH TO PREVENT DAMAGE TO THE WATER MAIN.
- WATER TIGHT JOINTS WHERE WATERLINES ARE CROSSED ABOVE OR BELOW.

REV.	BY	DATE	DESCRIPTION

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SITE PLAN PREPARED FOR  
 6 STRAWBERRY LANE  
 VILLAGE OF SOUTH BLOOMING GROVE  
 ORANGE COUNTY, NEW YORK

JOB#: 24-036  
 SCALE: AS NOTED  
 DATE: 11-14-24  
 DRAWN: MM  
 CHECKED: MM  
 SHEET NO. 08 of 11

**SANITARY DETAILS**

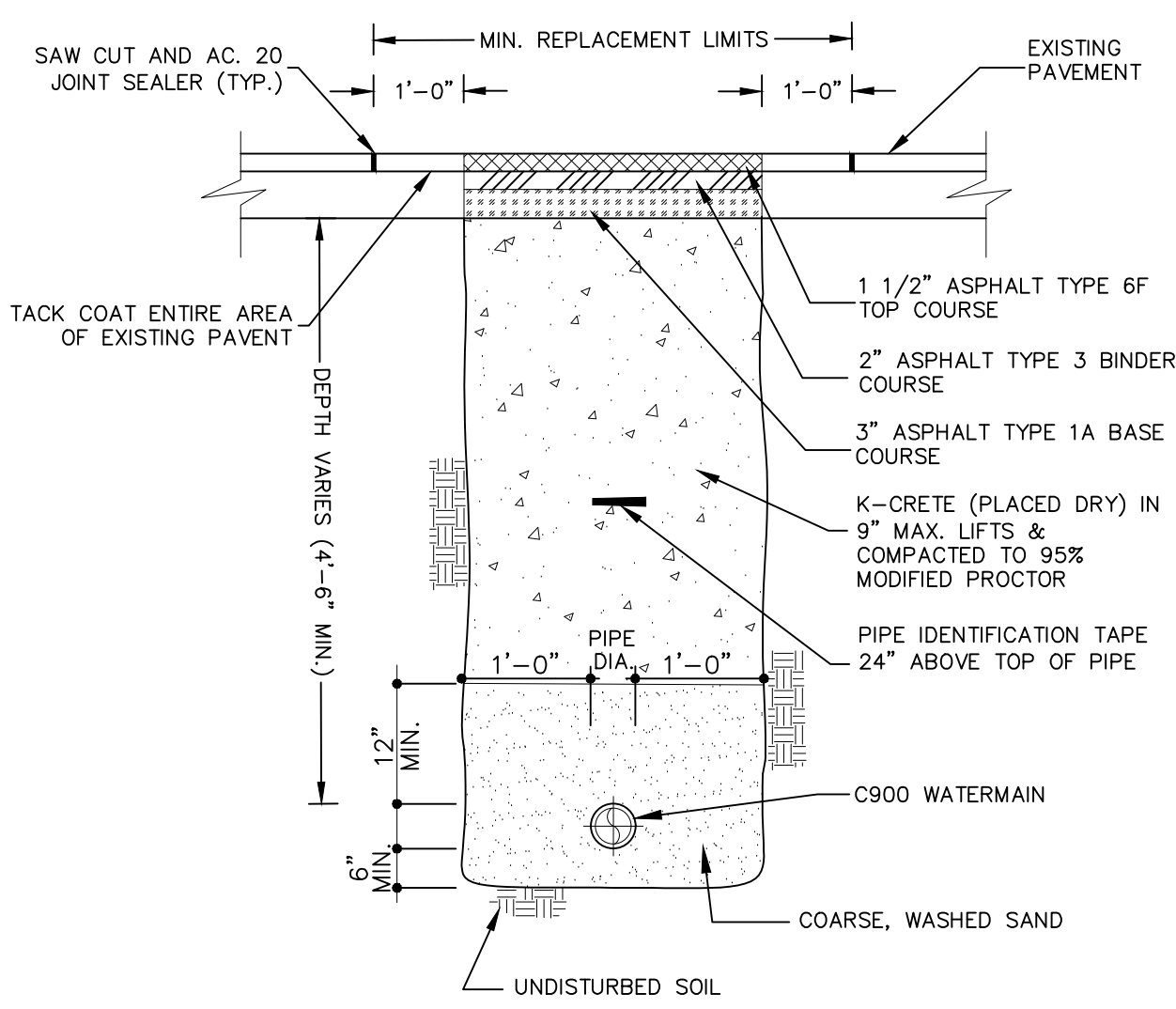
MICHAEL A. MORGANTE, P.E.  
 Lic. No. 78577

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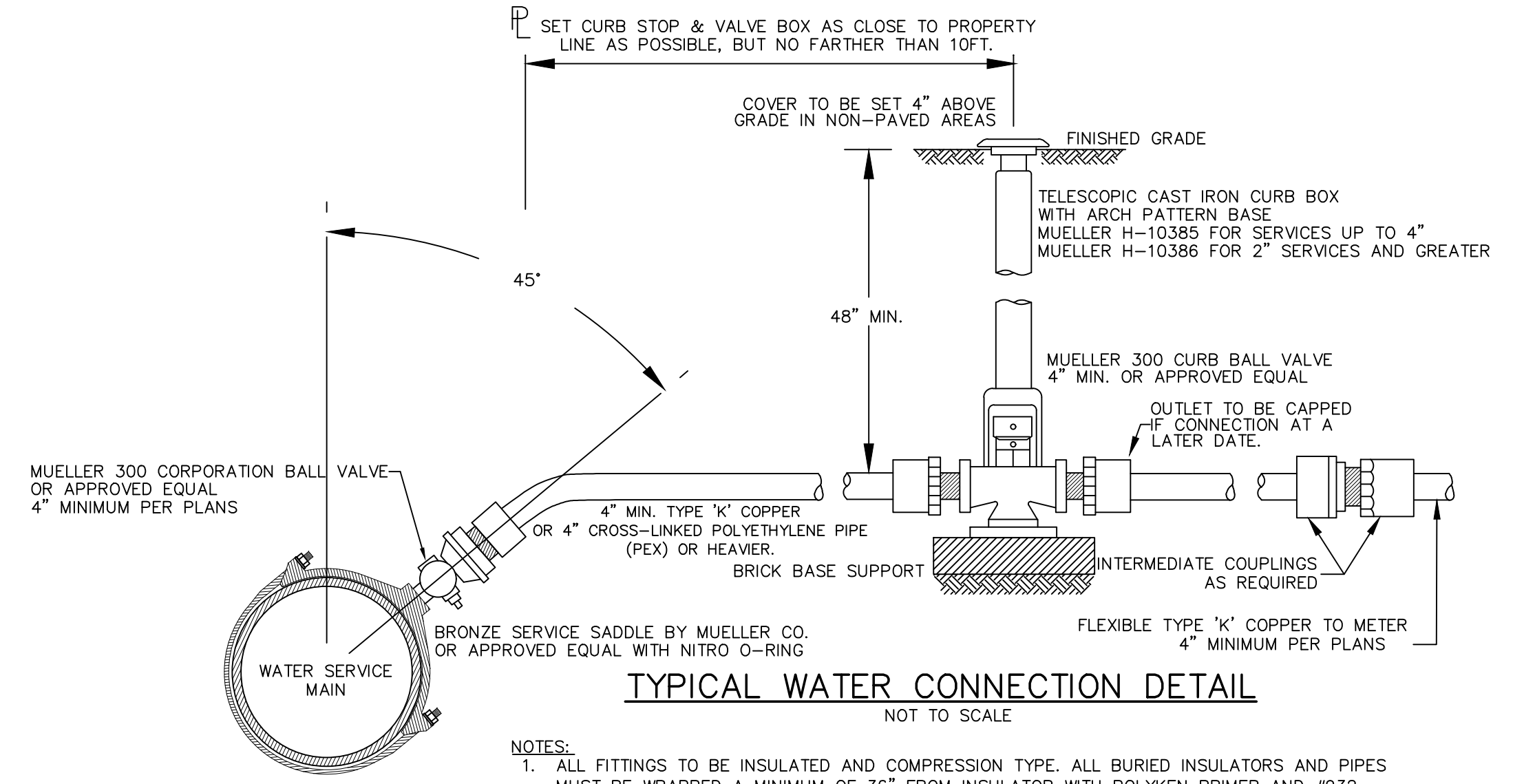


**TYPICAL WATER SERVICE INSTALLATION/RESTORATION DETAIL IN VILLAGE STREET**  
NOT TO SCALE

NOTE:  
1. PAVEMENT AND SUBBASE MATERIAL SHALL, AT A MINIMUM, MATCH THE EXISTING TYPES AND THICKNESSES FOUND WITHIN ANY TOWN, COUNTY OR STATE HIGHWAY, WHICHEVER IS GREATER.

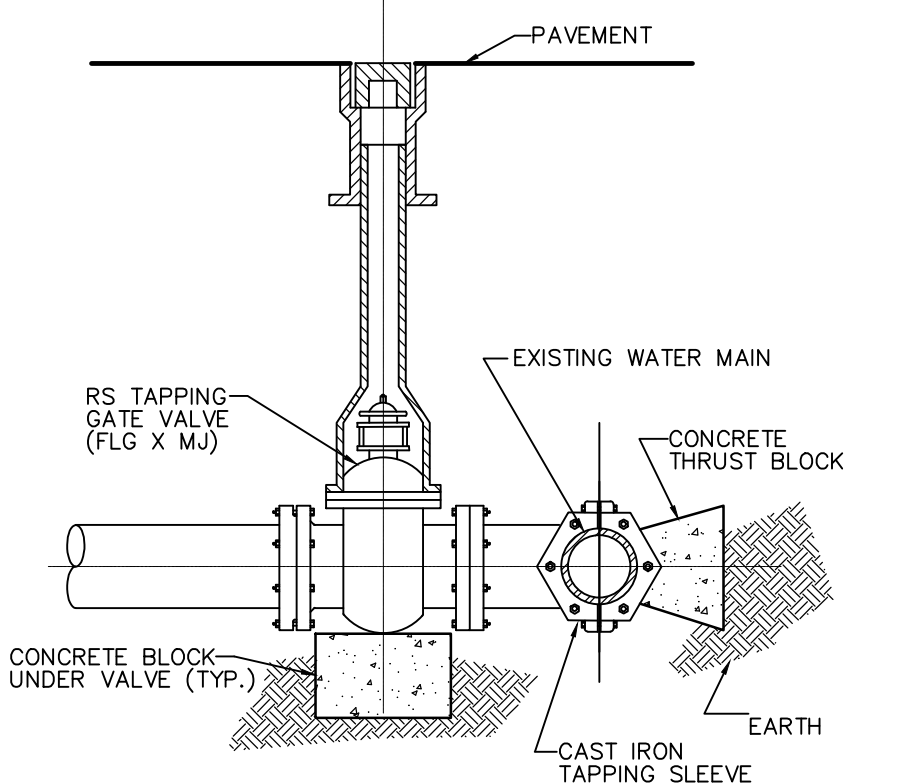
**WATER NOTES**

1. ALL WATER SYSTEM INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF SOUTH BLOOMING GROVE, THE ORANGE COUNTY DEPARTMENT OF HEALTH, THE LATEST AWWA STANDARDS, AND "RECOMMENDED STANDARDS FOR WATER WORKS" (2007-GLUMB).
2. DISINFECTION AND TESTING SHALL BE IN ACCORDANCE WITH AWWA C651.
3. PRESSURE AND LEAKAGE TESTING SHALL BE IN ACCORDANCE WITH AWWA C600, P. 6. SUPPLIERS RECORDS INDICATE ADEQUATE PRESSURE AND CAPACITY IS AVAILABLE.
4. ALL ELEVATIONS BASED ON TOPOGRAPHICAL INFORMATION PREPARED BY EDWARD T. GANNON, PLS.
5. AVAILABLE INFORMATION AS TO THE LOCATION OF EXISTING SUBSTRUCTURES AND UTILITIES HAS BEEN COLLECTED FROM VARIOUS SOURCES. THE RESULTS OF SUCH INVESTIGATIONS, AS MAY BE SHOWN ON THE CONTRACT DRAWINGS, ARE NOT GUARANTEED AS TO ACCURACY. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED TO VERIFY TRUE AND EXACT LOCATIONS OF UNDERGROUND LINES.
6. ALL PROFILES INDICATE APPROXIMATE GROUND PROFILES.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, AND UIDIG NY, A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION, AND SHALL COMPLY WITH ALL CURRENT MARKOUT REQUIREMENTS OF DIG SAFELY NEW YORK.
8. EXCAVATIONS OR TRENCHING WITHIN CLOSE PROXIMITY TO UNDERGROUND FACILITIES OR UTILITY POLES WILL REQUIRE PROTECTION TO PREVENT DAMAGE OR INTERRUPTION OF SERVICE TO UNDERGROUND FACILITIES. THE COST TO PROVIDE THIS PROTECTION WILL BE BORNE BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING THRUST BLOCKS WHICH ARE RESTRAINING EXISTING UTILITIES. EXISTING THRUST BLOCKS SHALL NOT BE UNDERMINED.
10. ALL TRENCH LINES SHALL BE CUT OR MILLED.
11. THE CONTRACTOR SHALL COMPLY WITH ALL ROAD OPENING REQUIREMENTS AND ORDINANCES OF THE GOVERNING AGENCY.
12. RESTORATION, INCLUDING THE REMOVAL OF EXCESS EXCAVATED MATERIAL AND PLACEMENT OF TEMPORARY PAVEMENT, SHALL BE PERFORMED AND COMPLETED ON A DAILY BASIS. ALL ROADS SHALL BE PASSABLE TO VEHICULAR TRAFFIC AT THE END OF EACH WORK DAY.
13. ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM OPEN TRENCHES SHALL BE STEEL PLATED. UPON BACKFILLING THE CONTRACTOR SHALL BROOM SWEEP STREETS, USE APPROPRIATE METHODS TO CONTROL DUST AND HOSE DOWN THE PAVEMENT TO KEEP SURFACE CLEAN.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL EXCESS EXCAVATED MATERIAL TO AN OFF-SITE LOCATION.
15. THE CONTRACTOR SHALL FURNISH AND INSTALL CORPORATIONS WHEREVER NECESSARY FOR PRESSURE TESTING AND DISINFECTING THE WATER SERVICE LINE. CORPORATIONS SHALL BE 3/4" FOR MAINS SMALLER THAN 16" AND 1" FOR MAINS 16" AND LARGER. THE CONTRACTOR SHALL INSTALL AS MANY CORPORATIONS AS ARE REQUIRED FOR PROPER TESTING, FLUSHING, AIR BLEEDING AND DISINFECTION.
16. TO MAINTAIN THE HORIZONTAL AND VERTICAL ALIGNMENT SHOWN ON THE PLANS, PIPE JOINTS MAY BE DEFLECTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, UNLESS THE SPECIFICATIONS INDICATE A MORE STRINGENT REQUIREMENT. IF NECESSARY, EITHER TO MAINTAIN THE ALIGNMENT SHOWN OR TO ADJUST THE ALIGNMENT TO MEET ACTUAL FIELD CONDITIONS, ADDITIONAL FITTINGS SHALL BE INSTALLED AS REQUIRED.
17. ALL STATIONING SHOWN ON PLANS IS APPROXIMATE.
18. ALL CONSTRUCTION ACTIVITIES ARE TO BE CONFINED TO THE PUBLIC RIGHT-OF-WAY OR TO THE LIMITS DEPICTED ON THE CONTRACT DRAWINGS.
19. THE WATER MAIN SHALL BE INSTALLED WITH A MINIMUM OF FOUR AND ONE HALF (4.5) FEET OF COVER. ANY DEVIATION FROM THIS WILL REQUIRE AUTHORIZATION FROM THE VILLAGE OF SOUTH BLOOMING GROVE ENGINEER.
20. THE CONTRACTOR SHALL TAKE STEPS NECESSARY TO PRESERVE EXISTING CURB AND MINIMIZE THE LENGTH OF CURBING THAT MUST BE REPLACED.
21. THE CONTRACTOR IS CAUTIONED THAT ALL SANITARY LATERALS AND UTILITY SERVICES HAVE NOT BEEN LOCATED. WHEN THE CONTRACTOR ENCOUNTERS AN OBSTRUCTION AND CANNOT ADJUST THE ALIGNMENT USING ALLOWABLE JOINT DEFLECTION, THE CONTRACTOR SHALL REFER TO THE WATER MAIN DETAIL SHEETS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROMPT REPAIR OF DAMAGED UTILITIES, AND SHALL RESTORE THE SITES AS NEATLY AS POSSIBLE TO THEIR ORIGINAL CONDITION.
22. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, ROADS, PIPELINES, TREES, SHRUBBERY, GRASS AREAS, ETC. DURING THE PROGRESS OF THE WORK AND SHALL REMOVE DAILY FROM THE SITE ALL DEBRIS AND UNUSED MATERIALS. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL RESTORE THE SITES AS NEATLY AS POSSIBLE TO THEIR ORIGINAL CONDITION.
23. ALL SIDEWALK AREAS SHALL BE PASSABLE AND BROOM SWEEP AT THE END OF EACH WORK DAY.
24. DURING FLUSHING AND PRESSURE TESTING OF THE MAIN, THE VILLAGE OF SOUTH BLOOMING GROVE SHALL OPERATE ALL VALVES.
25. REFER TO DETAIL SHEET FOR STANDARD DETAILS.

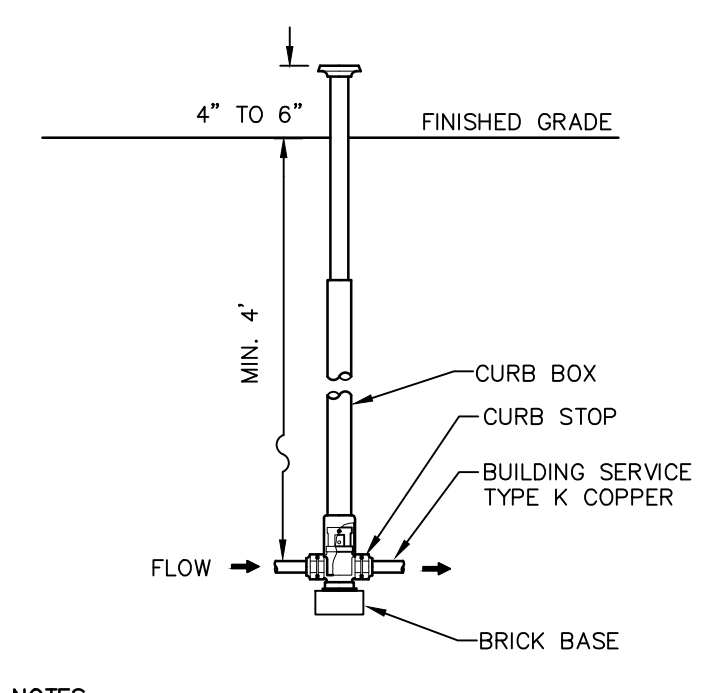


**TYPICAL WATER CONNECTION DETAIL**  
NOT TO SCALE

NOTES:  
1. ALL FITTINGS TO BE INSULATED AND COMPRESSION TYPE. ALL BURIED INSULATORS AND PIPES MUST BE WRAPPED A MINIMUM OF 36" FROM INSULATOR WITH POLYKEN PRIMER AND #932 HI-TACK JOINT WRAP TAPE OR APPROVED EQUAL.  
2. PROVIDE A TYPICAL HORIZONTAL "S" CURVE BETWEEN THE CORPORATION STOP AND CURB STOP.

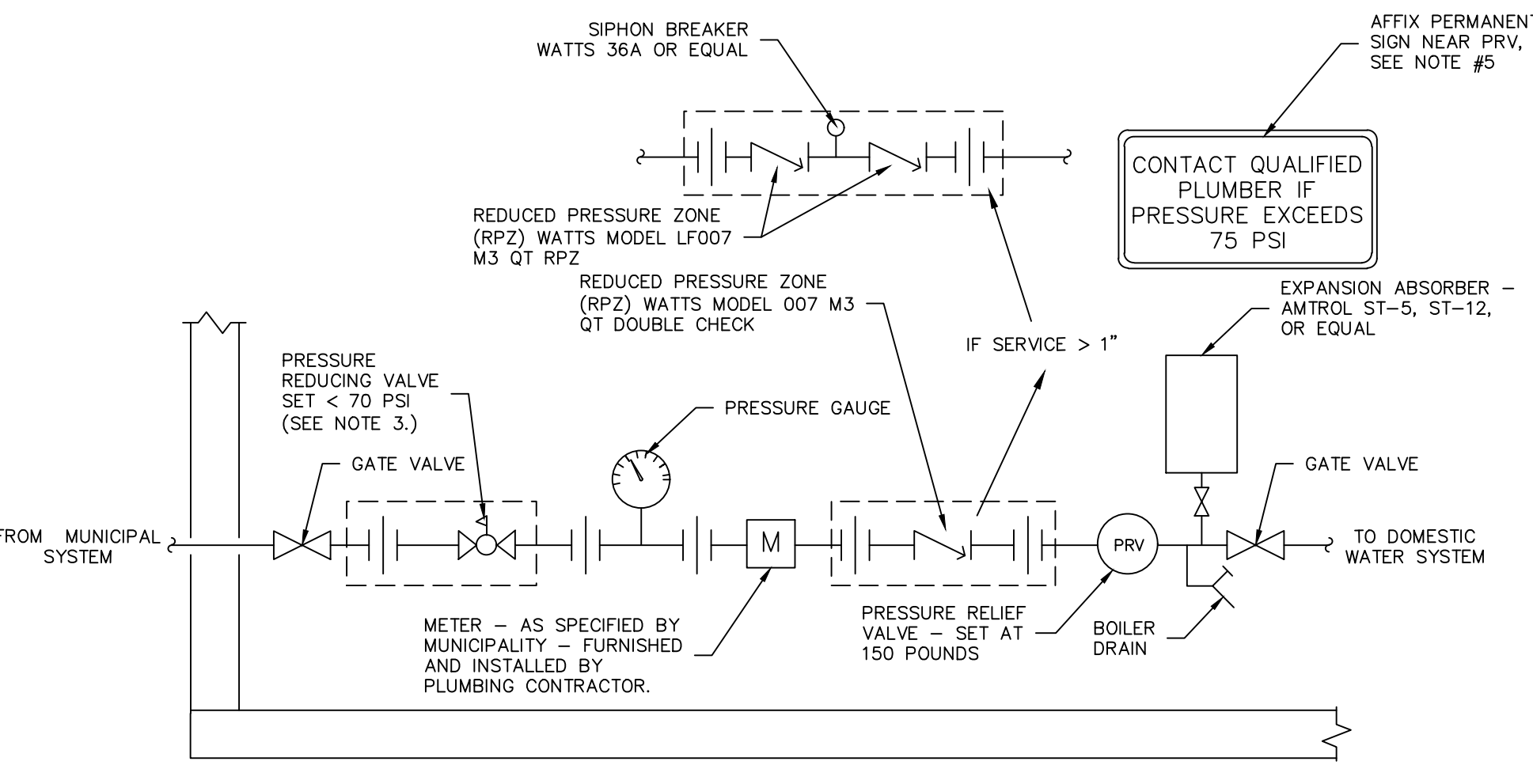


**WET TAP DETAIL**  
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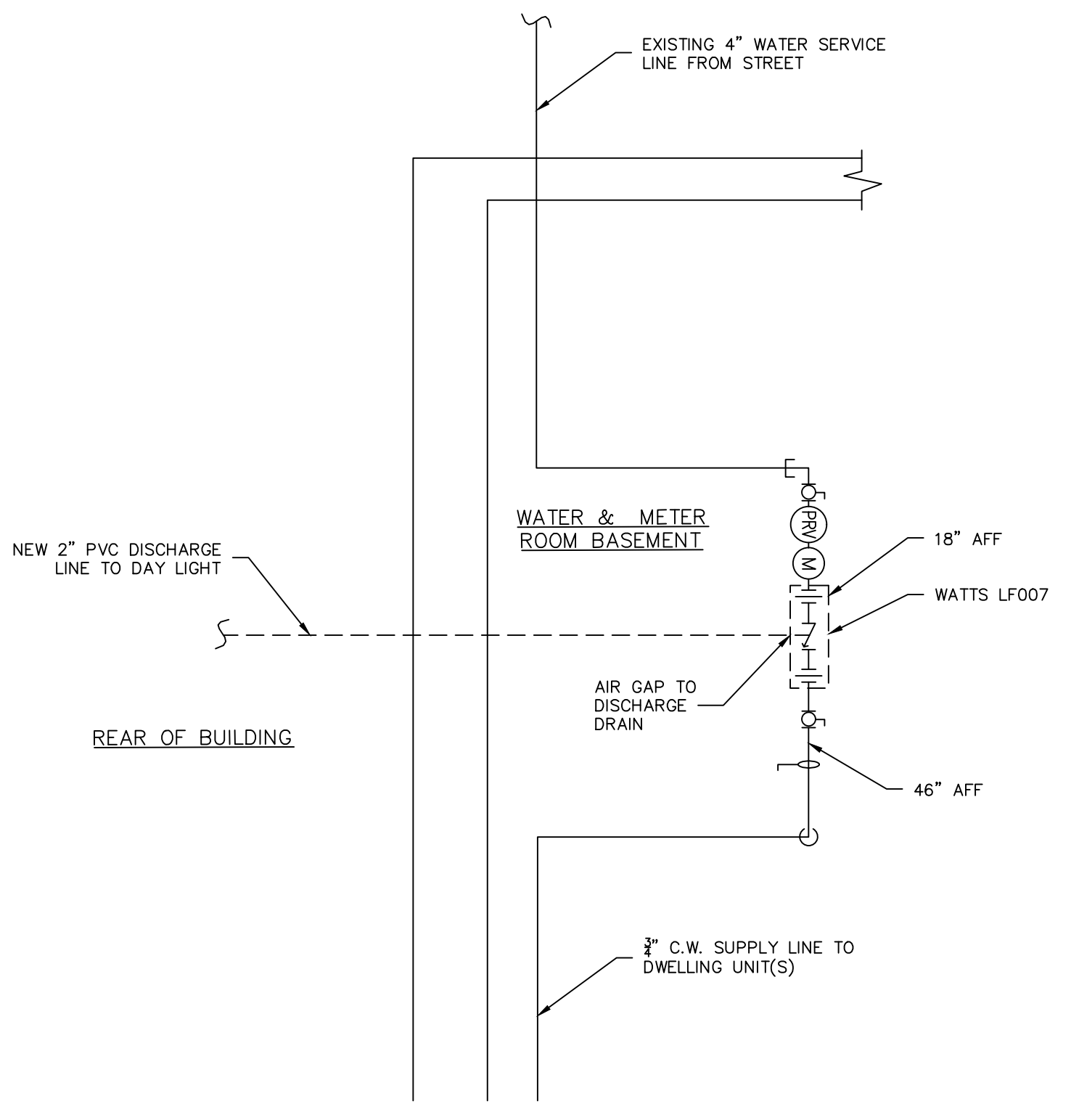
**CURB STOP DETAIL**  
NOT TO SCALE

NOTES:  
CURB STOP TO BE MUELLER H15200, OR EQUAL.  
CURB BOX TO BE MUELLER H10306 WITH ROD, OR EQUAL.

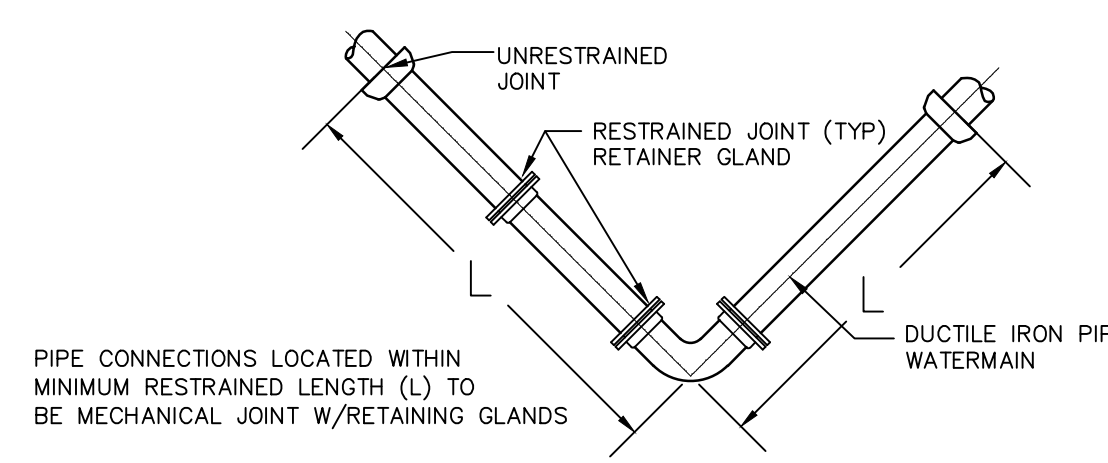


NOTES:  
1. PLUMBING CONTRACTOR SHALL TEST ALL COMPONENTS AND RUN A MINIMUM OF 100 GALLONS THROUGH SYSTEM BEFORE FINAL INSPECTION.  
2. ENTIRE INSTALLATION TO CONFORM TO MUNICIPALITY'S REQUIREMENTS.  
3. REQUIRED ONLY WHERE MUNICIPAL SYSTEM PRESSURE EXCEEDS 70 PSI.  
4. PLUMBING CONTRACTOR SHALL INSTALL A TELEPHONE JACK AS CLOSE TO METER AS POSSIBLE, AND WIRE TO ITB.  
5. SIGN SHALL READ "CONTACT QUALIFIED PLUMBER IF PRESSURE EXCEEDS 75 PSI"

**TYPICAL BACKFLOW PREVENTION SYSTEM PROFILE**  
NOT TO SCALE



**TYPICAL BACKFLOW PREVENTION SYSTEM PLAN**  
NOT TO SCALE



NOMINAL PIPE SIZE (IN)	BURY DEPTH (FT)	INTERNAL PRESSURE (PSI)	SOIL DESIGNATION	LAYING CONDITION (*)	RESTRAINED LENGTH (FT) = L (**)				
					DEAD END	90° BEND	45° BEND	22 1/2° BEND	1 1/4° BEND
6	4.5	150	SAND SILT	5	38	17	7	4	2
8	4.5	150	SAND SILT	5	50	21	16	5	3

(\*) LAYING CONDITION TYPE AS DESCRIBED IN STANDARD ANSI/AWWA C150/A21.50  
(\*\*) RESTRAINED LENGTH AS PER "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE", LATEST EDITION, DUCTILE IRON PIPE RESEARCH ASSOCIATION

**WATER JOINT RESTRAINT DETAIL**  
NOT TO SCALE

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SITE PLAN PREPARED FOR  
**6 STRAWBERRY LANE**  
VILLAGE OF SOUTH BLOOMING GROVE  
ORANGE COUNTY, NEW YORK

**WATER SUPPLY DETAILS**

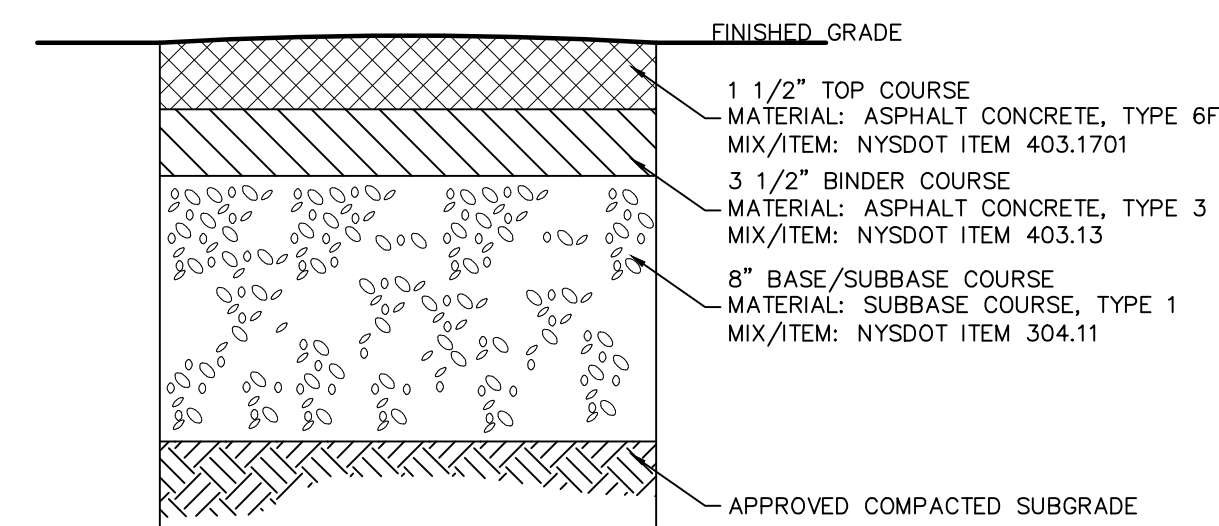
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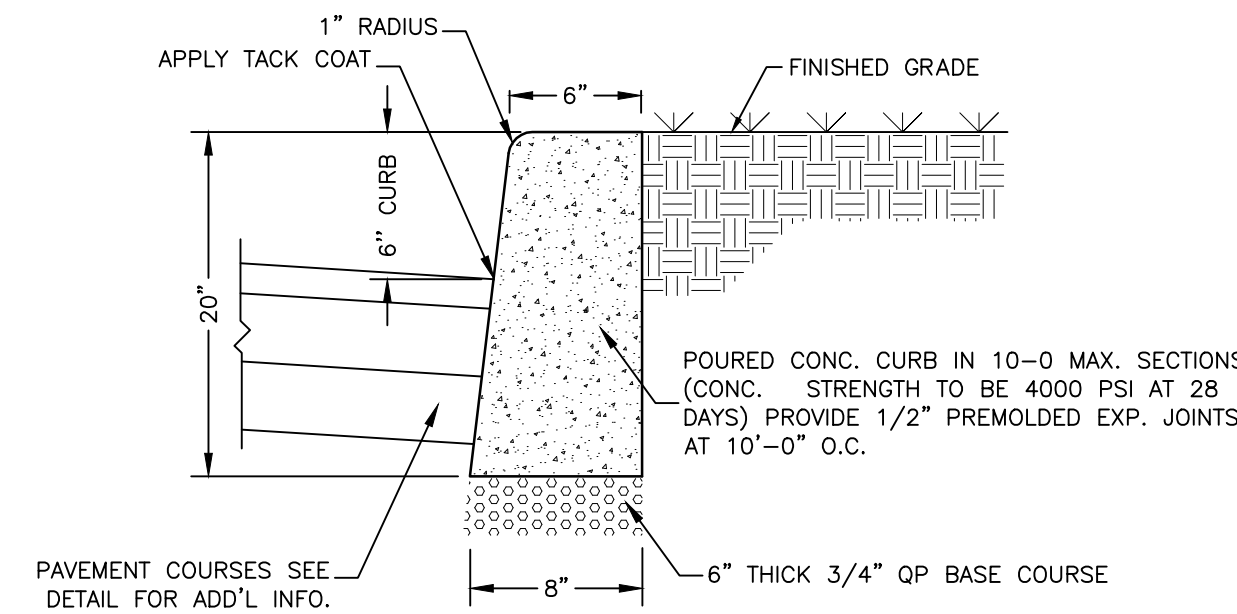
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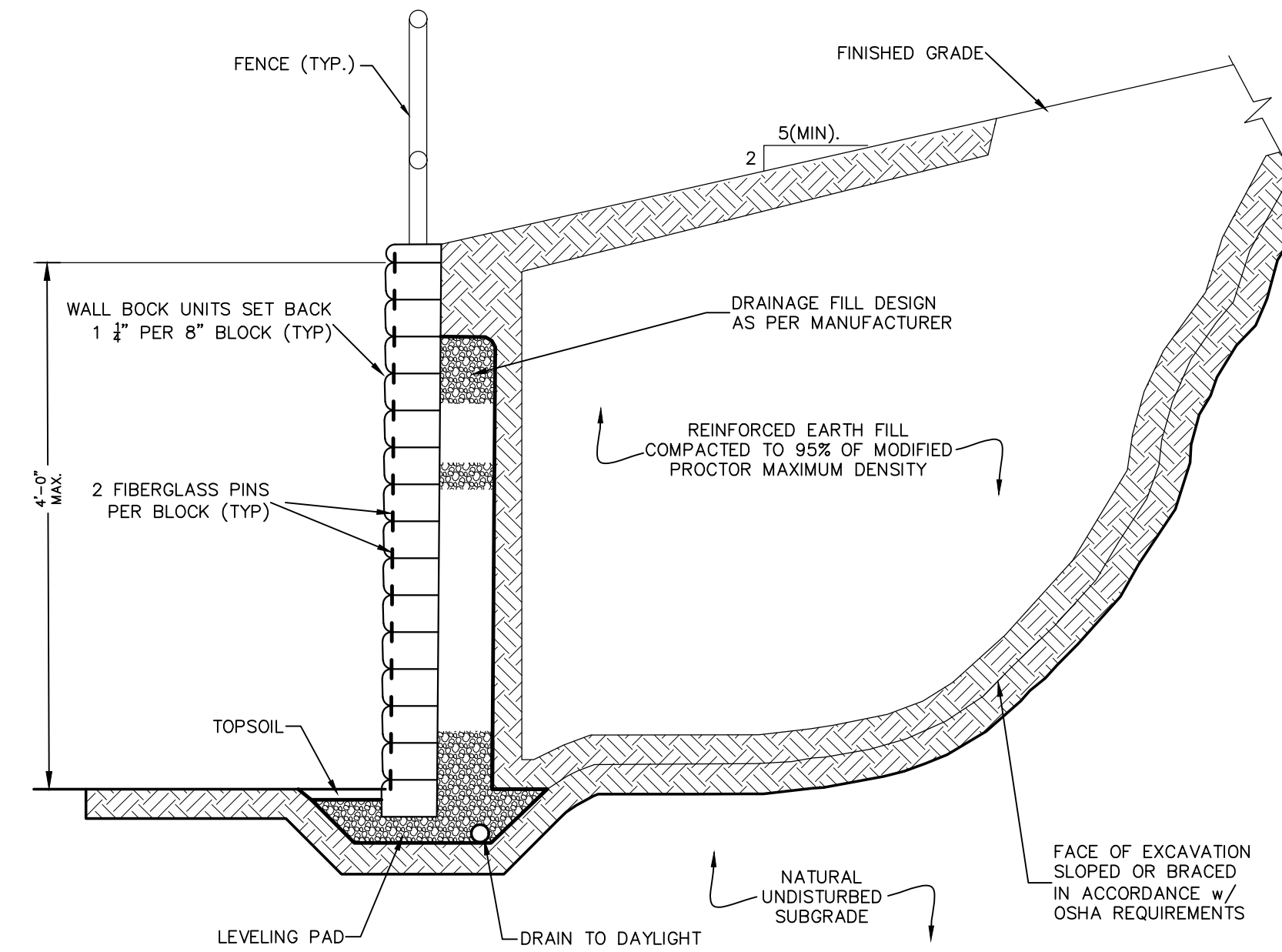


- NOTES:**
1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR: CONSTRUCTION AND MATERIALS, LATEST EDITION, AND ALL ADDENDA THERETO.
  2. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS.
  3. HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH SECTION 400 HOT MIX ASPHALT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS. ALTHOUGH SECTION 400 IN ITS ENTIRETY IS REFERENCED, THE HOT MIX ASPHALT (HMA) PAVEMENT(S) SPECIFIED FOR T-LIS CONTRACT SHALL BE AS SPECIFIED UNDER SECTION 402-HOT MIX ASPHALT (HMA) PAVEMENTS.
  4. TACK COAT SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  5. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  6. THICKNESS INDICATED REFER TO COMPACTED MEASURE.

**TYPICAL ASPHALT DETAIL FOR DRIVEWAY & PARKING AREAS**  
NOT TO SCALE

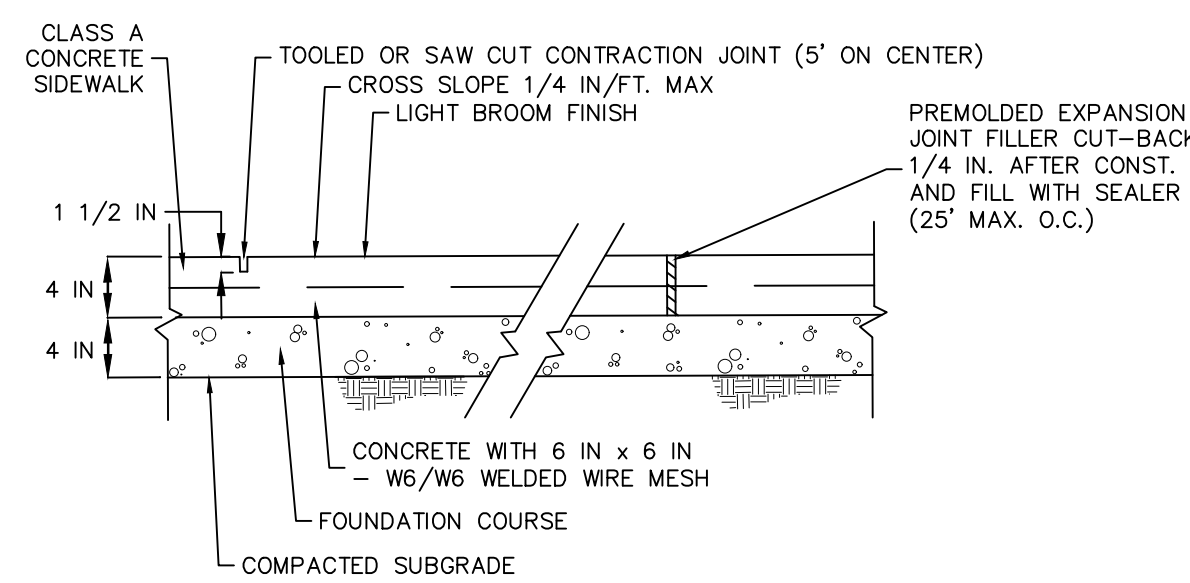


**CONCRETE CURB DETAIL**  
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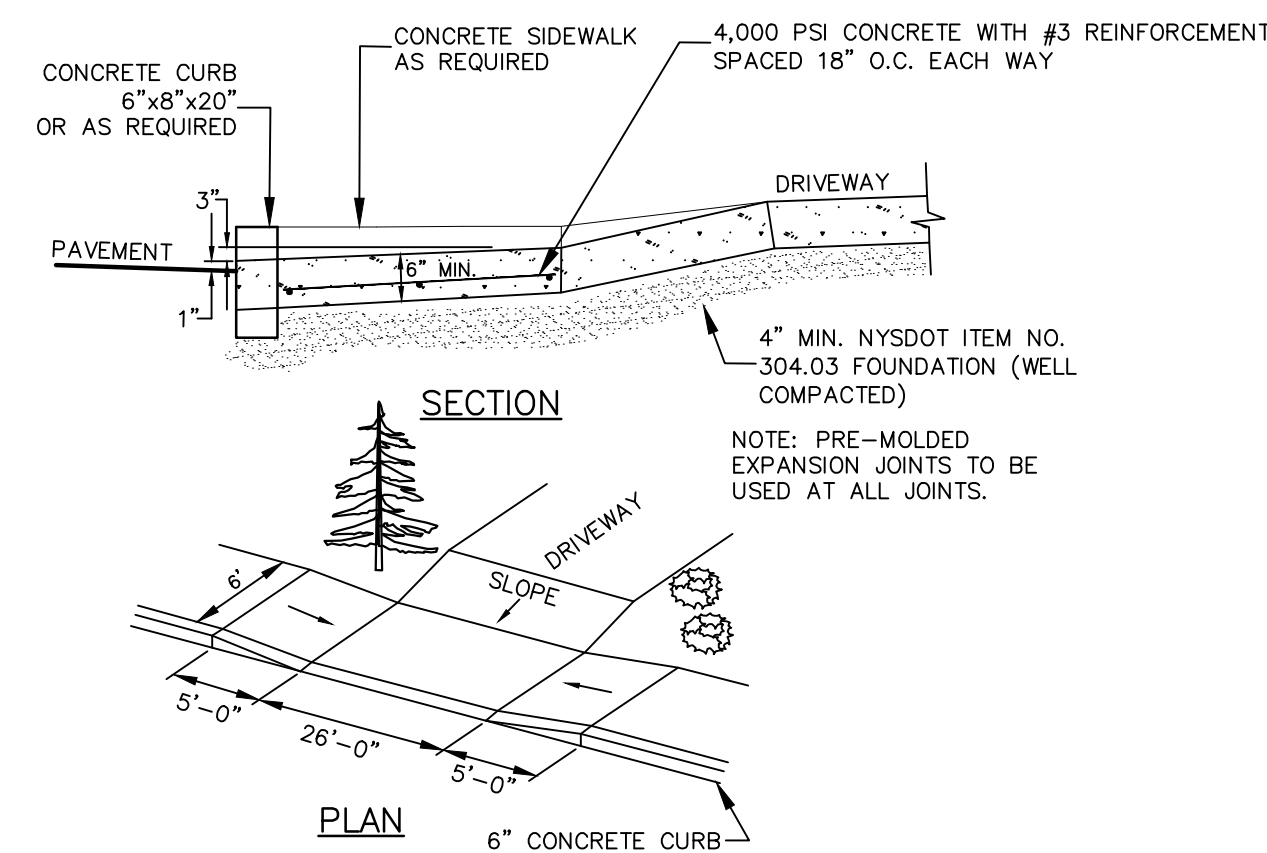


- NOTES:**
1. PROPOSED KEYSTONE KS HALF CENTURY RETAINING WALL SHALL BE DESIGNED AS PER THE MANUFACTURER.
  2. FENCING SHALL BE INSTALLED AS SHOWN ON THE PLANS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. WHERE RETAINING WALLS EXCEED 4' IN HEIGHT.
  3. COLORS TO MATCH FOUNDATION STONE.
  4. FOR WALLS OVER 4'-0" HEIGHT SEE SPECIFIC ENGINEERED WALL DETAILS PREPARED BY OTHERS.

**TYPICAL MSE RETAINING WALL**  
NOT TO SCALE

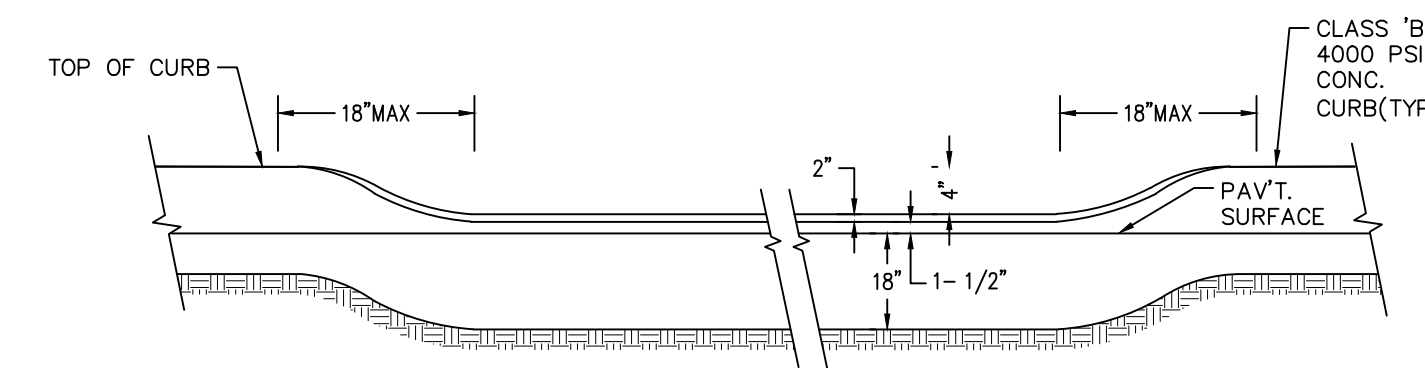


**TYPICAL SIDEWALK SECTION**  
NOT TO SCALE



**DRIVEWAY ENTRANCE DETAIL**  
NOT TO SCALE

NOTE: SEE PLAN SHEET FOR ACTUAL SIDEWALK & DRIVEWAY WIDTH



**DROP CURB**  
NOT TO SCALE

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