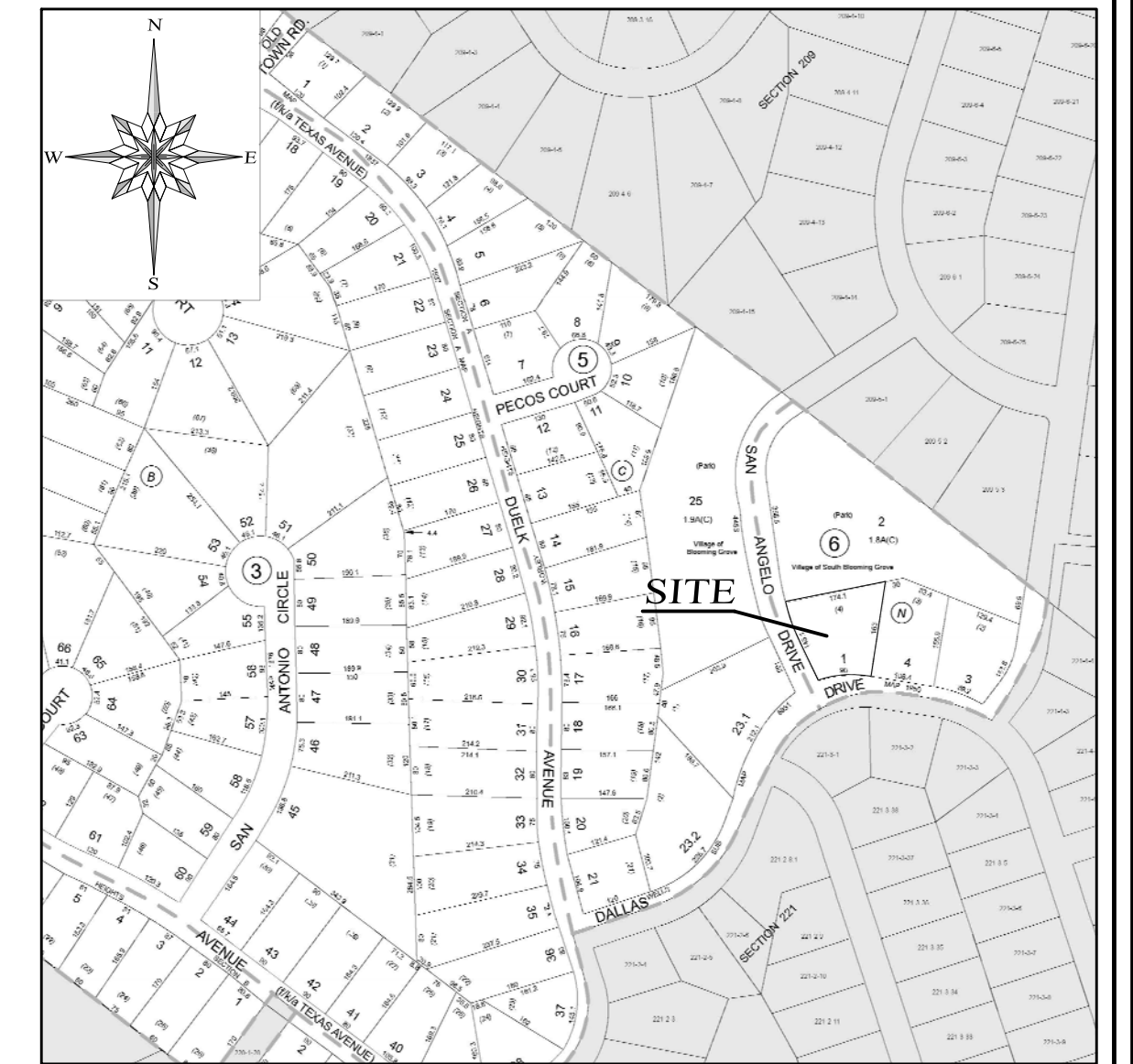


PROPOSED BULK REQUIREMENTS

	RR ZONE	
	MINIMUM	LOT #1 PROVIDED
LOT AREA (S-F)	10,000	19,458
FRONTAGE (FT.)	60'	>90
FRONT YARD (FT.)	33**	>33
REAR YARD (FT.)	40	>40
SIDE YARD (FT.)	15	>15
	MAXIMUM	PROPOSED
BUILDING COVERAGE (%)	50	21.6
*MINIMUM FRONTAGE ON CURVED LOTS SHALL BE MEASURED AT THE FRONT SETBACK LINE.		
**MINIMUM FRONT YARD SHALL BE 40 FEET AS MEASURED FROM THE EDGE OF PAVEMENT.		
	MAXIMUM	PROPOSED
BUILDING HEIGHT (IN STORIES)	2 STORIES	2 STORIES
BUILDING HEIGHT (IN FEET)	35 FEET	<35 FEET
ACCESSORY STRUCTURES		
	MINIMUM	PROPOSED
REAR YARD (FT.)	10	N/A
SIDE YARD (FT.)	10	N/A
	MAXIMUM	PROPOSED
BUILDING HEIGHT (IN STORIES)	2 STORIES	N/A
BUILDING HEIGHT (IN FEET)	20 FEET	N/A



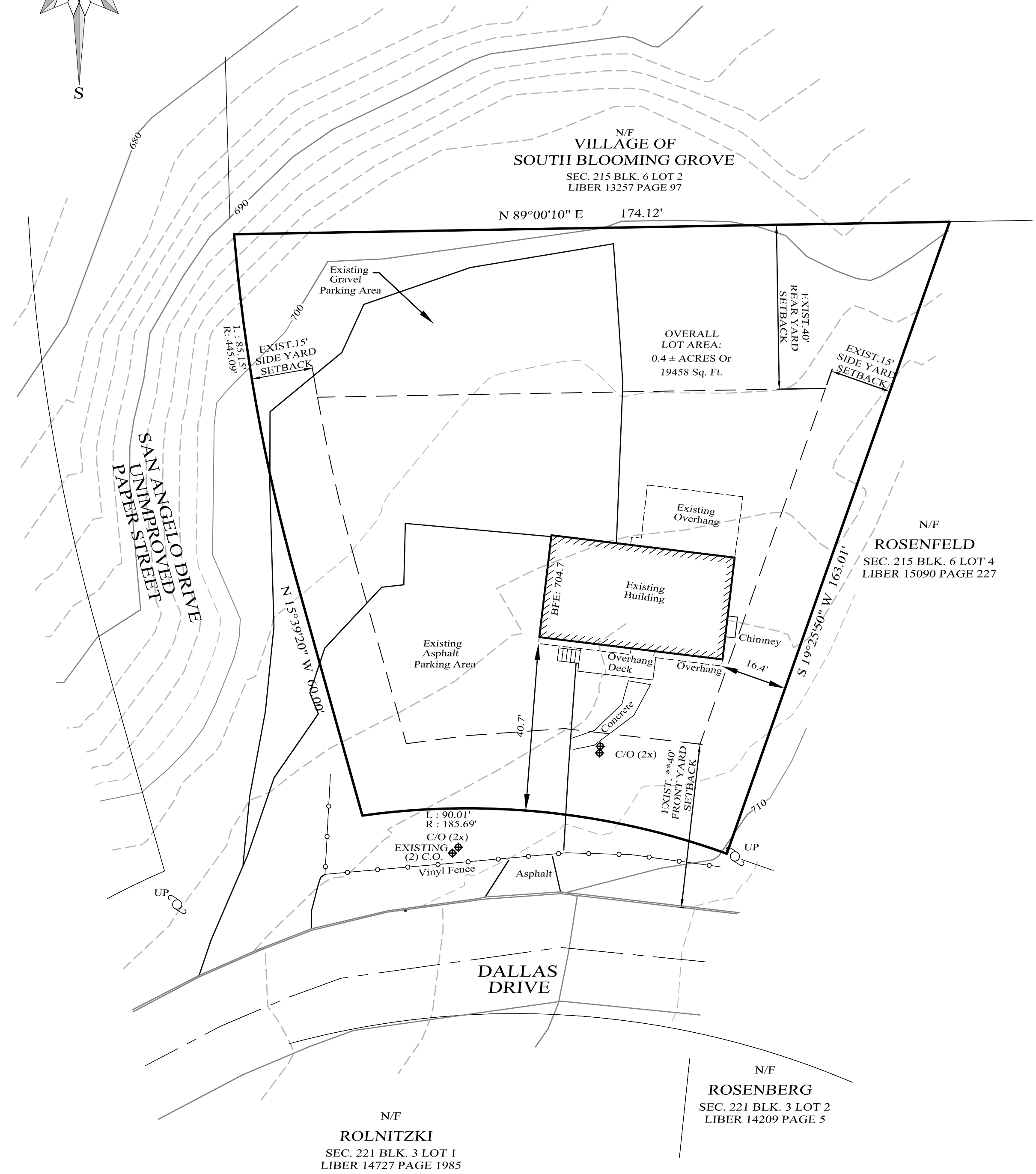
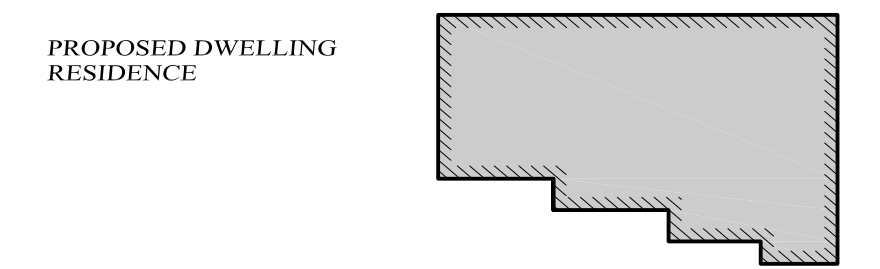
LOCATION MAP
SCALE: 1" = 300'

GENERAL NOTES:

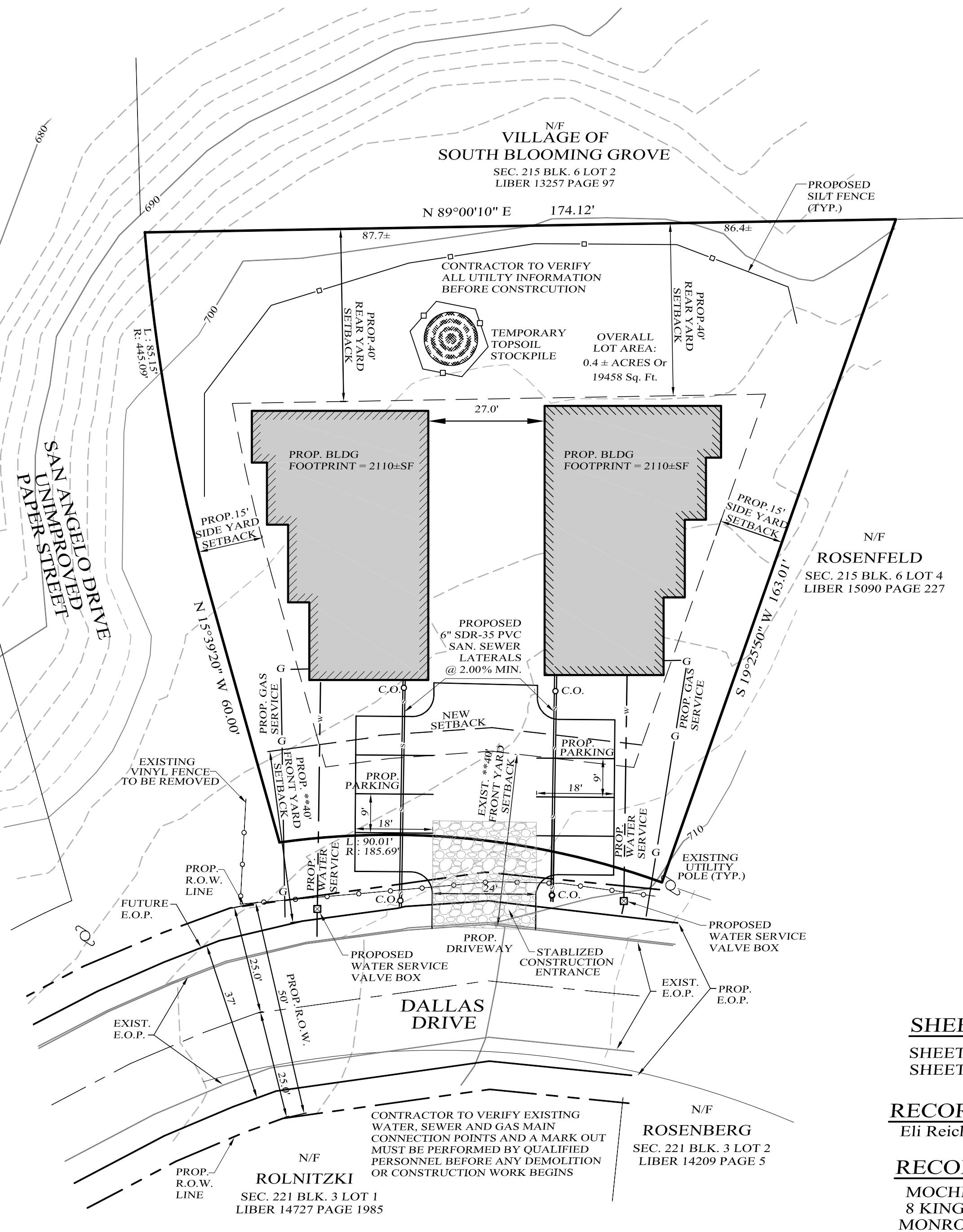
- VILLAGE OF SOUTH BLOOMING GROVE TAX MAP DESIGNATION: SEC. 215, BLK. 6, LOT 1
- AREA OF PARCELS PER SURVEY: 19,458± SF
- PARCEL IS LOCATED IN THE RR ZONING DISTRICT.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.

LEGEND

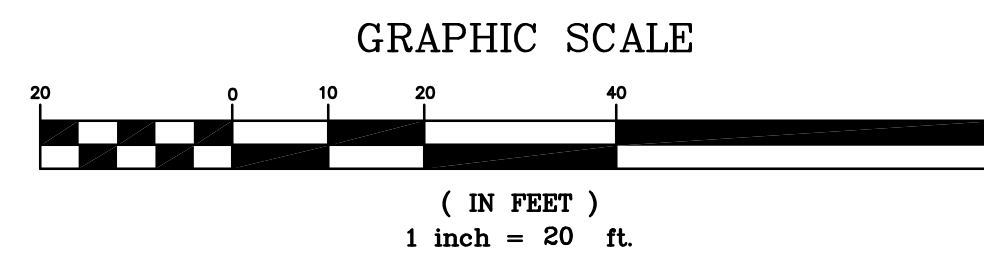
- EXISTING PROPERTY LINE
- EXISTING CONTOUR LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING STONEWALL
- EXISTING WIRE FENCE
- EXISTING OVER HEAD UTILITIES
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING CLEAN OUTS
- PROPOSED SILT FENCE
- PROPOSED SETBACK LINE



EXISTING CONDITIONS



PROPOSED SITE PLAN



SHEET INDEX
SHEET #1 SITE PLAN
SHEET #2 DETAILS

RECORD APPLICANT
Eli Reich

RECORD OWNER
MOCHE HALPERN
8 KINGSVILLE DR
MONROE, NY 10950

9 DALLAS DRIVE

VILLAGE OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK
PROJECT TITLE

SITE PLAN

DRAWING TITLE

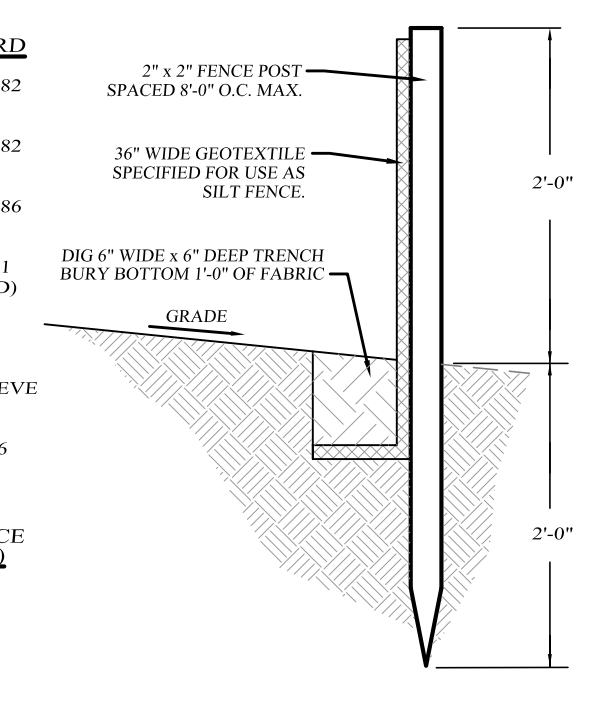
KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC

5 Saint Stephens Lane, Warwick, NY 10990
(845) 988-0620

03-21-24 INITIAL PREPARATION		KIRK ROTHER, P.E. N.Y.S. LIC. NO. 079053		DATE	
DATE	REVISIONS	D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
		N.A.	N.A.	N.A.	1 OF 2
		CAD # 24110	PROJECT #	SCALE	
		SITE PLAN	24110.0	AS SHOWN	

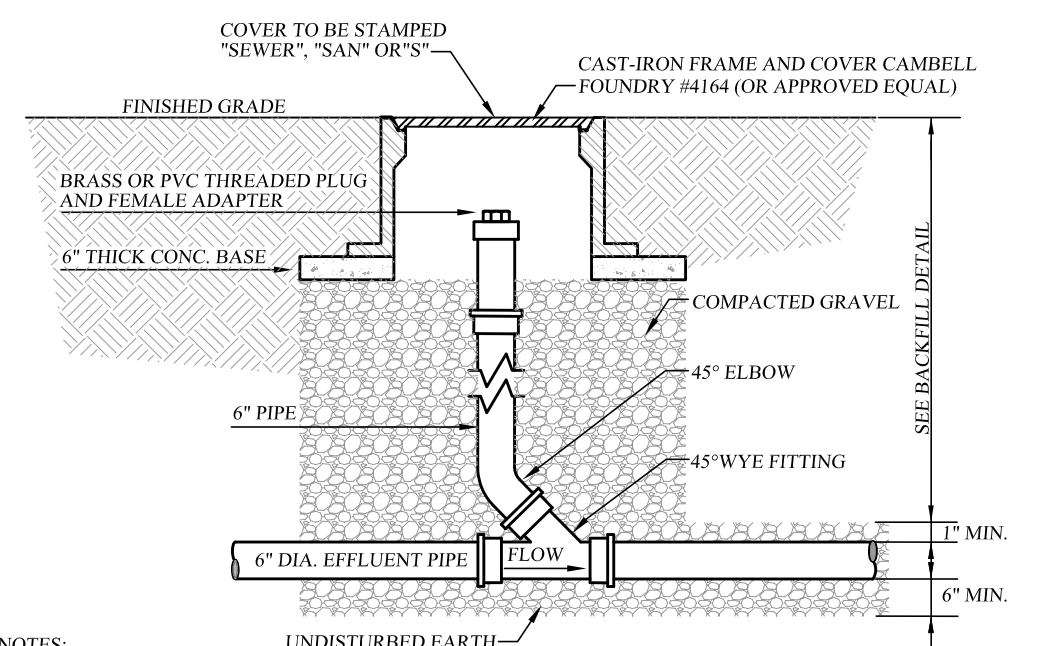
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.

FENCE PROPERTIES	MINIMUM VALUE	STANDARD
GRAB TENSILE STRENGTH (LBS)	90	ASTM D1682
ELONGATION AT FAILURE (%)	50	ASTM D1682
MILLEN BURST STRENGTH (PSI)	190	ASTM D3786
PUNCTURE STRENGTH (LBS)	40	ASTM D751 (MODIFIED)
SLURRY FLOW RATE (GAL/MIN)	0.3	
EQUIVALENT OPENING SIZE	40-80	US STD SIEVE CW-02215
ULTRAVIOLET RADIATION STABILITY (%)	90	ASTM G-26
SLOPE STEEPNESS	MAXIMUM FENCE SPACING (FT)	
2:1	50	
3:1	75	
4:1	125	
5:1	175	
FLATTER THAN 5:1	200	



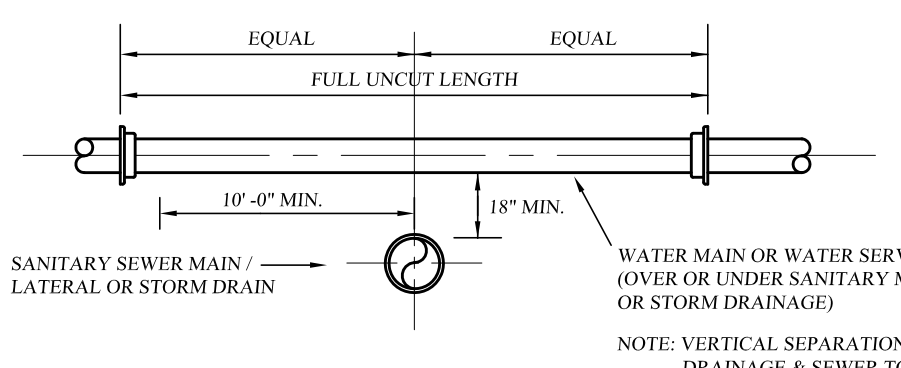
- NOTES:
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND SECTION.
 - ALL SILT FENCES SHALL RUN PARALLEL TO THE CONTOUR OF THE LAND.
 - ALL SILT FENCING SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR AND ENGINEER.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN "WELLS" DEVELOP IN THE SILT FENCE.

FILTER FABRIC SILT FENCE DETAIL
NOT TO SCALE



- NOTES:
- EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER APPROXIMATELY EVERY 100' (MAXIMUM) FOR THE PURPOSE OF CLEANOUT LOCATIONS. DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE BUILDING SEWER TO THE CENTER OF THE SEWER MAIN LINE (GENERALLY LOCATED IN THE CENTER OF THE STREET).
 - A CLEANOUT LOCATED IN A ROAD, DRIVEWAY OR PARKING AREA SHALL REQUIRE A CAMBELL FOUNDRY #464 CAST IRON FRAME AND COVER, (OR APPROVED EQUAL).

BUILDING SEWER CLEAN-OUT DETAIL
NOT TO SCALE



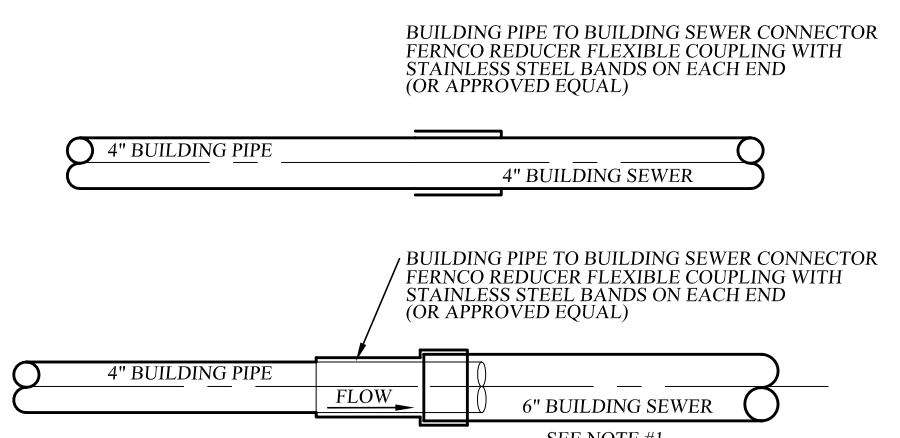
VERTICAL SEPARATION DETAIL
NOT TO SCALE



HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

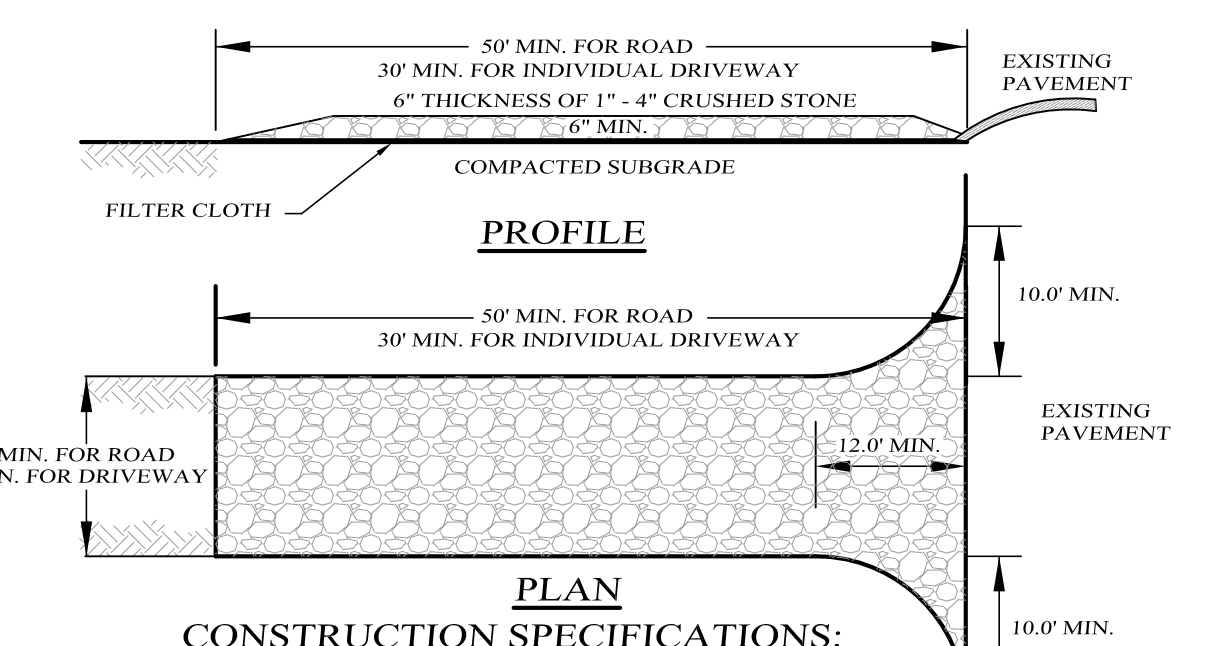
- NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS
NOT TO SCALE



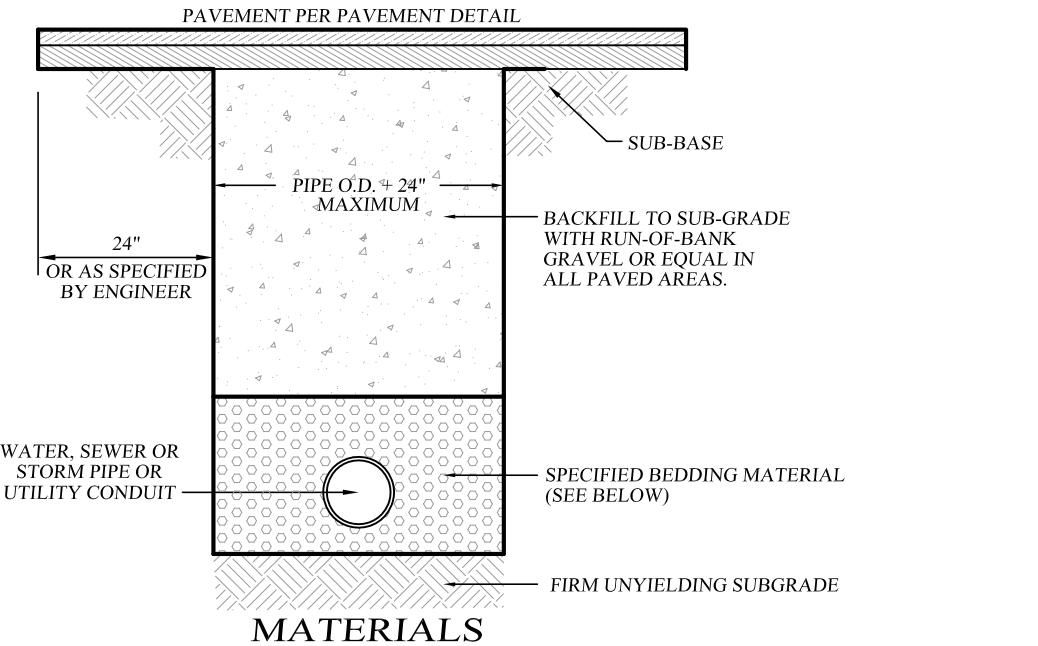
- NOTES:
- 4" BUILDING PIPE TO STUB APPROXIMATELY 6" INTO 6" BUILDING SEWER.
 - EACH 4" BUILDING SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY.
 - EACH 6" BUILDING SEWER SHALL BE REQUIRED FOR ALL COMMERCIAL USES AND SERVE NO MORE THAN TWELVE (12) EQUIVALENT LIVING UNITS, AS DETERMINED BY OCSDI, UNLESS A REQUESTED DEVIATION IS APPROVED IN WRITING BY OCSDI.
 - BUILDING PIPE SHALL NOT EXCEED MORE THAN 10' FROM EXTERIOR OF BUILDING FOUNDATION.
 - 6" BUILDING PIPE TO 6" BUILDING SEWER SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).

BUILDING PIPE TO BUILDING SEWER CONNECTION
NOT TO SCALE



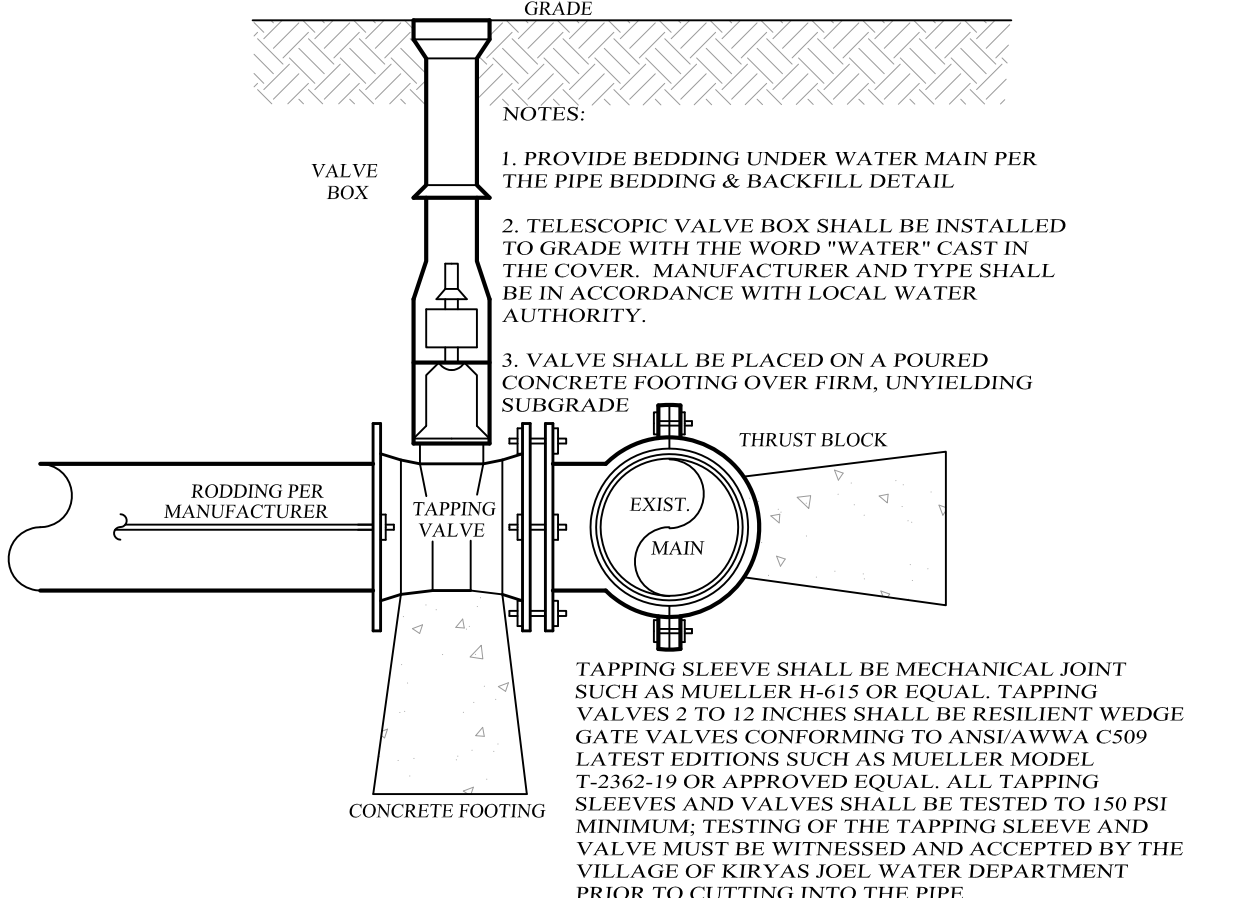
- CONSTRUCTION SPECIFICATIONS:**
- ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC R.O.W. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.
 - A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED WHERE A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. THE BLANKET SHALL BE COMPOSED OF 6" DEPTH OF 1/4" CRUSHED STONE AND 12" X 30" FOR DRIVEWAYS, AND SHALL BE PLACED ON COMPACTED SUB-GRADE.
 - A FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



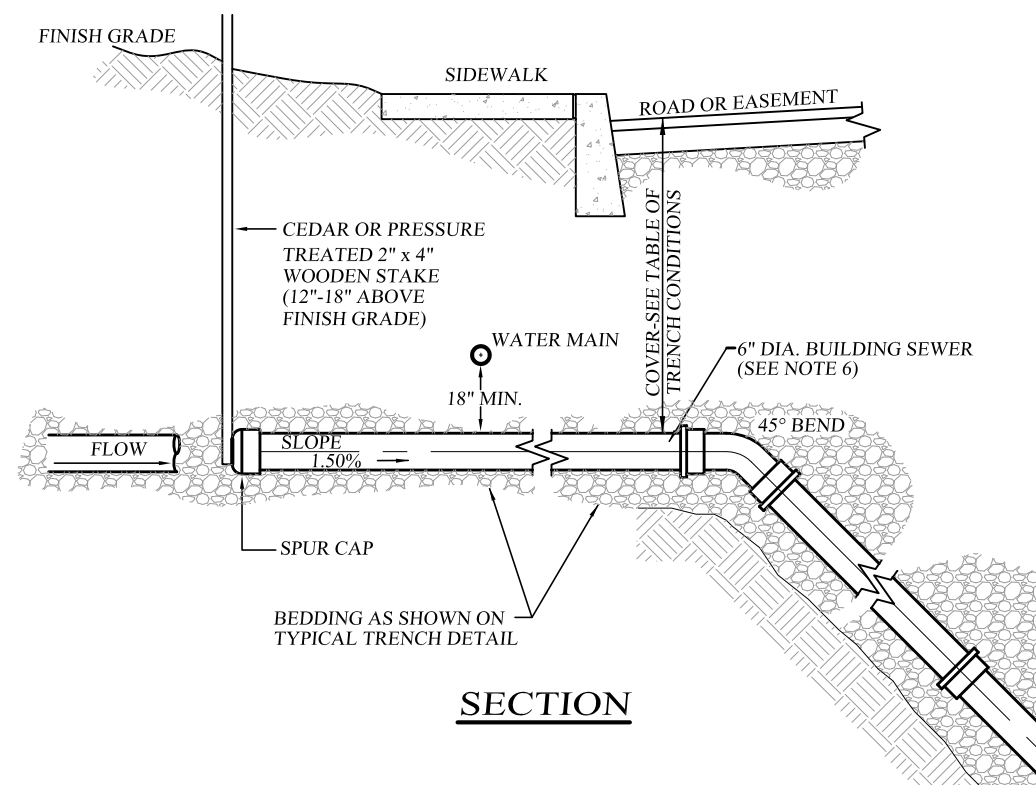
- MATERIALS**
- PIPE ZONE BEDDING MATERIAL:
- WATER MAINS: SAND OR RUN-OF-BANK GRAVEL, AS APPROVED BY SOILS ENGINEER.
 - SEWER MAINS: 1/4" CRUSHED STONE.
- PIPE ZONE BACKFILL MATERIAL:
- WATER MAINS: ON-SITE MATERIAL FREE OF STONE, CLAY FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER.
 - SEWER MAINS: 1/4" CRUSHED STONE.

PIPE BEDDING AND BACKFILL DETAIL
NOT TO SCALE



- NOTES:
- PROVIDE BEDDING UNDER WATER MAIN PER THE PIPE BEDDING & BACKFILL DETAIL.
 - TELESCOPIC VALVE BOX SHALL BE INSTALLED TO GRADE WITH THE WORD "WATER" CAST IN THE COVER. MANUFACTURER AND TYPE SHALL BE IN ACCORDANCE WITH LOCAL WATER AUTHORITY.
 - VALVE SHALL BE PLACED ON A POURED CONCRETE FOOTING OVER FIRM, UNYIELDING SUBGRADE.

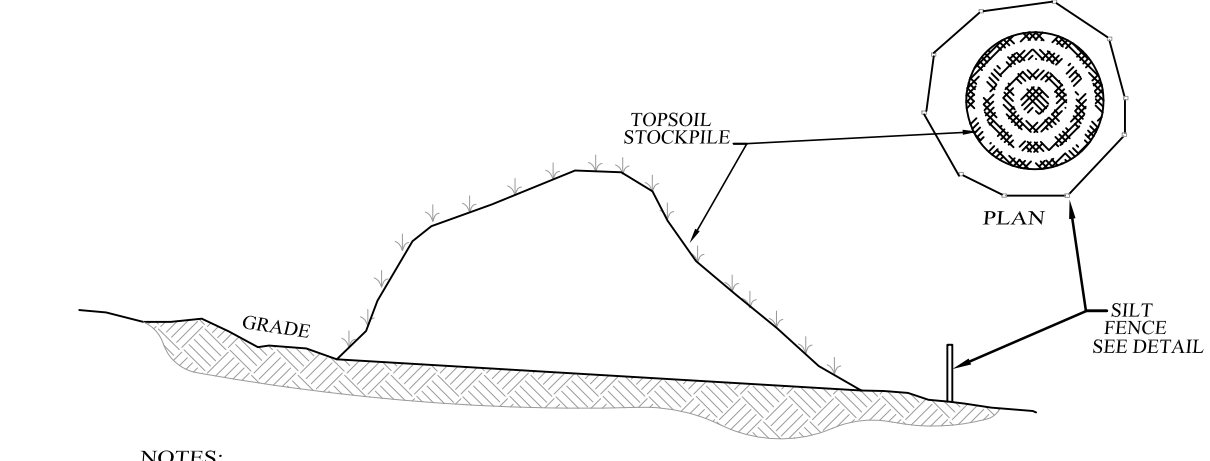
WATER MAIN TAPPING VALVE DETAIL
NOT TO SCALE



- SPECIAL CONDITIONS FOR SHALLOW TRENCH**
- | COVER | PIPE |
|-----------------|--|
| LESS THAN 4'-0" | CLASS 52 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL |

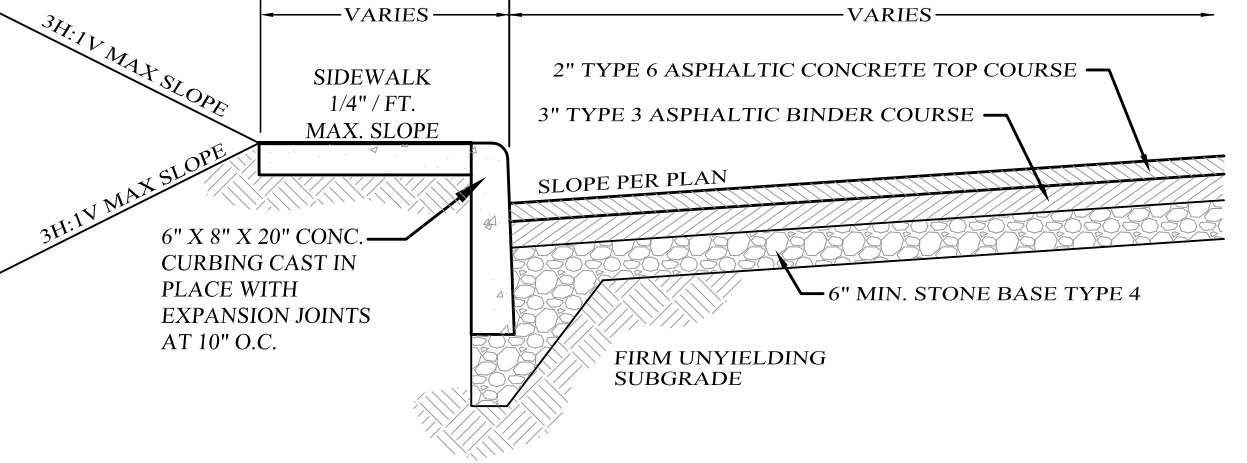
- NOTES:
- EACH 6" BUILDING SEWER SHALL PROVIDE SERVICE FOR NO MORE THAN TWELVE (12) EQUIVALENT LIVING UNITS.
 - ALL APPROVED BUILDING SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
 - MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2'-0". IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2'-0" ONTO ALL BUILDING LOT PROPERTIES.
 - TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).
 - SADDLE CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
 - THE BUILDINGS SEWER SHOWN FROM THE MAIN LINE SOURCE SADDLE CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR 6" SEWER SERVICE LATERALS.
 - 4" BUILDING SEWER LATERAL MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING COMMERCIAL) SHALL BE 6" IN DIA.

SEWER MAIN CONNECTION DETAIL
NOT TO SCALE

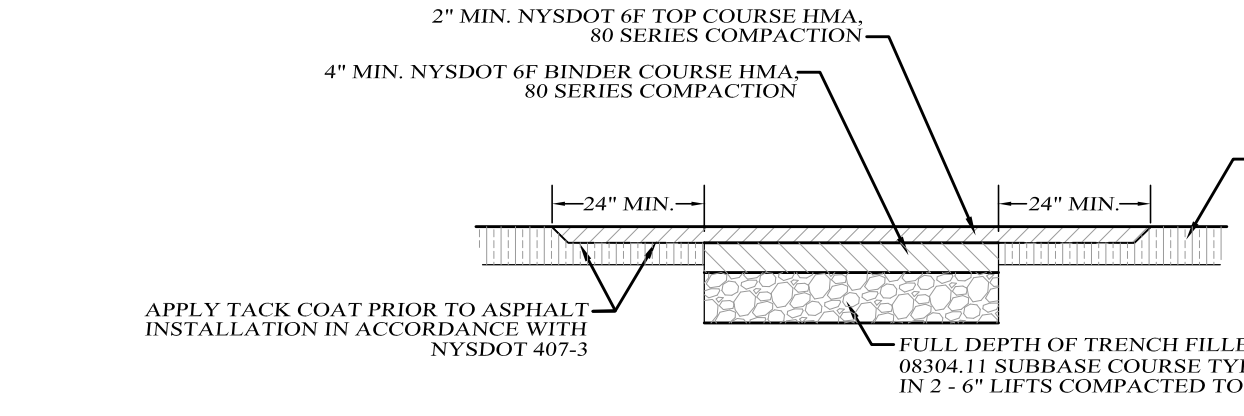


- NOTES:
- TOPSOIL STOCKPILE TO BE SEED AS PER THE TEMPORARY SEEDING SPECIFICATIONS.
 - SILT FENCE TO BE INSTALLED DOWN GRADIENT OF STOCKPILE.

TOPSOIL STOCKPILE DETAIL
NOT TO SCALE

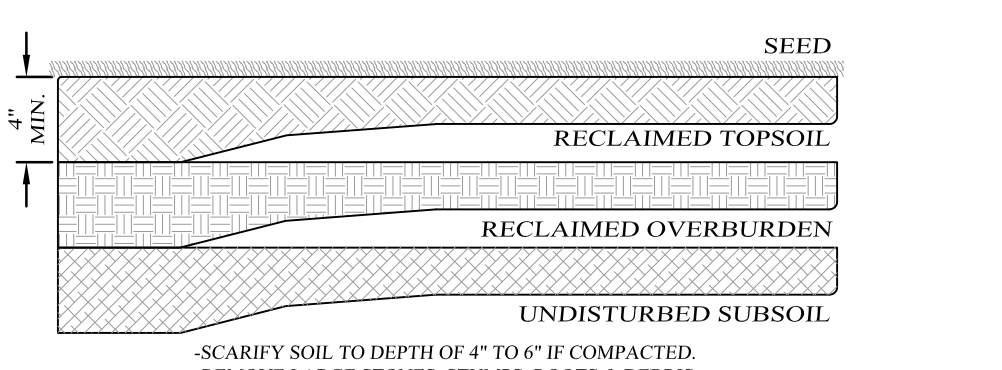


TYPICAL PAVEMENT SECTION PARKING AREA & DRIVEWAY
NOT TO SCALE



- NOTES:
- ALL TRENCHES TO BE SAWCUT.
 - ALL WORK MUST BE APPROVED BY THE VILLAGE DFW SUPERINTENDENT.

TYPICAL PAVEMENT REPLACEMENT WITHIN ROAD
NOT TO SCALE



- RECLAMATION DETAIL**
NOT TO SCALE
- SCARIFY SOIL TO DEPTH OF 4" TO 6" IF COMPACTED.
 - REMOVE LARGE STONES, STUMPS, ROOTS & DEBRIS.
 - LIME AS REQUIRED TO ACHIEVE A PH OF 6.0.
 - FERTILIZE AT 600#/ACRE OF 5-10-10 FERTILIZER, IF NEEDED.
 - ROUGHEN TOP 4" OF SOIL, SEED AND MULCH.

9 DALLAS DRIVE

VILLAGE OF BLOOMING GROVE, ORANGE COUNTY, NEW YORK
PROJECT TITLE

DETAILS

DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 Saint Stephens Lane, Warwick, NY 10990
(845) 988-0620

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
03-21-24	INITIAL PREPARATION			

D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	2 OF 2
CAD # 24110	PROJECT #	SCALE	
SITE PLAN	24110.0	AS SHOWN	

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