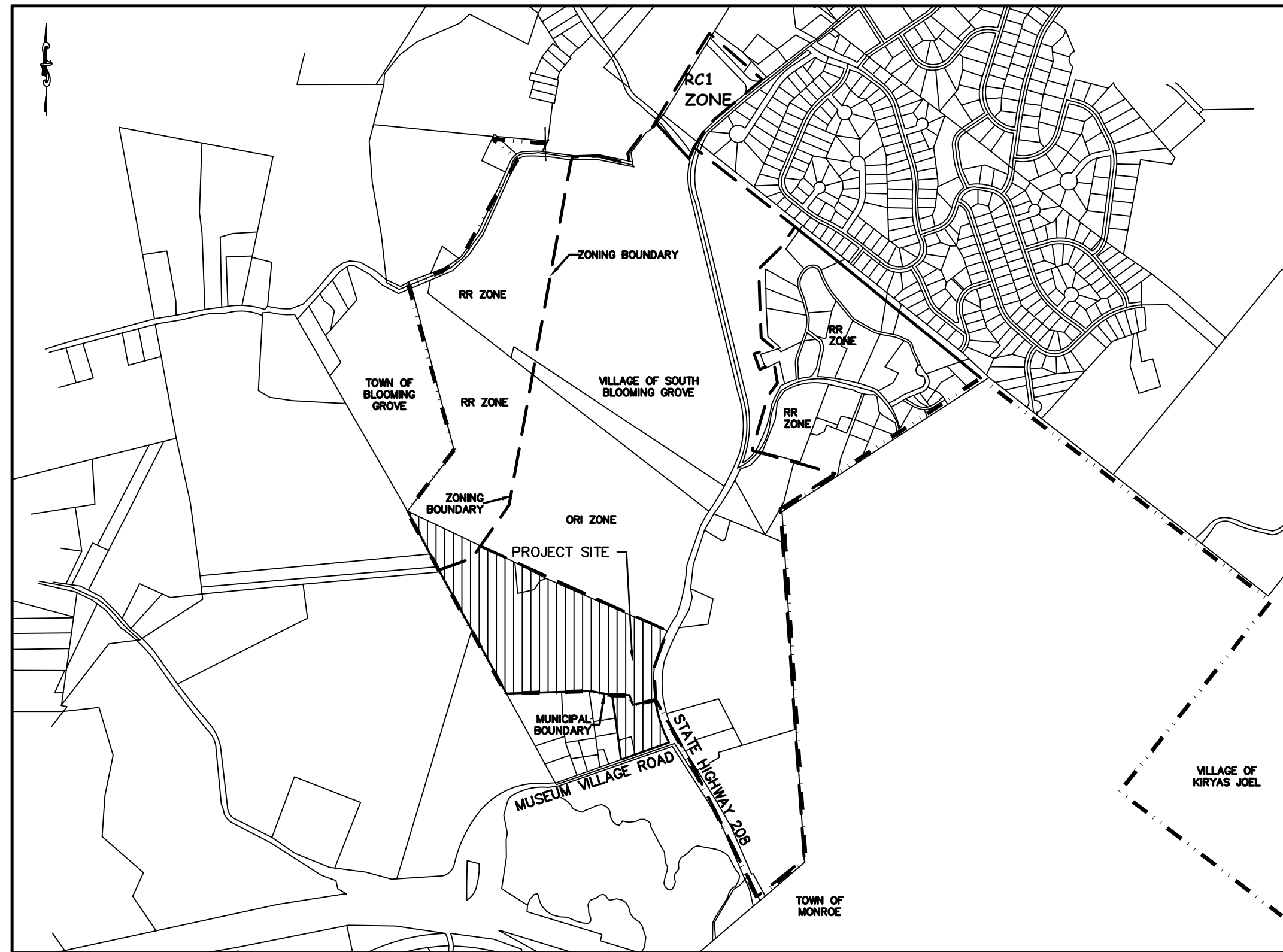


SITE PLAN AND SUBDIVISION FOR MUSEUM VILLAGE GARDENS MUSEUM VILLAGE ROAD – VILLAGE OF SOUTH BLOOMING GROVE ORANGE COUNTY, NY.



LOCATION MAP
SCALE: 1"=1,000'

SHEET #	SHEET TITLE	ORIGINAL DATE/ LAST REVISED DATE
01 OF 06	TITLE SHEET	11-5-20/04-16-24
02 OF 06	EXISTING CONDITIONS	11-5-20/04-16-24
03 OF 06	DEMOLITION PLAN	11-5-20/04-16-24
04 OF 06	SUBDIVISION PLAN 01	11-5-20/04-16-24
05 OF 06	SUBDIVISION PLAN 02	11-5-20/04-16-24
06 OF 06	SUBDIVISION PLAN 03	11-5-20/04-16-24

REFERENCES:

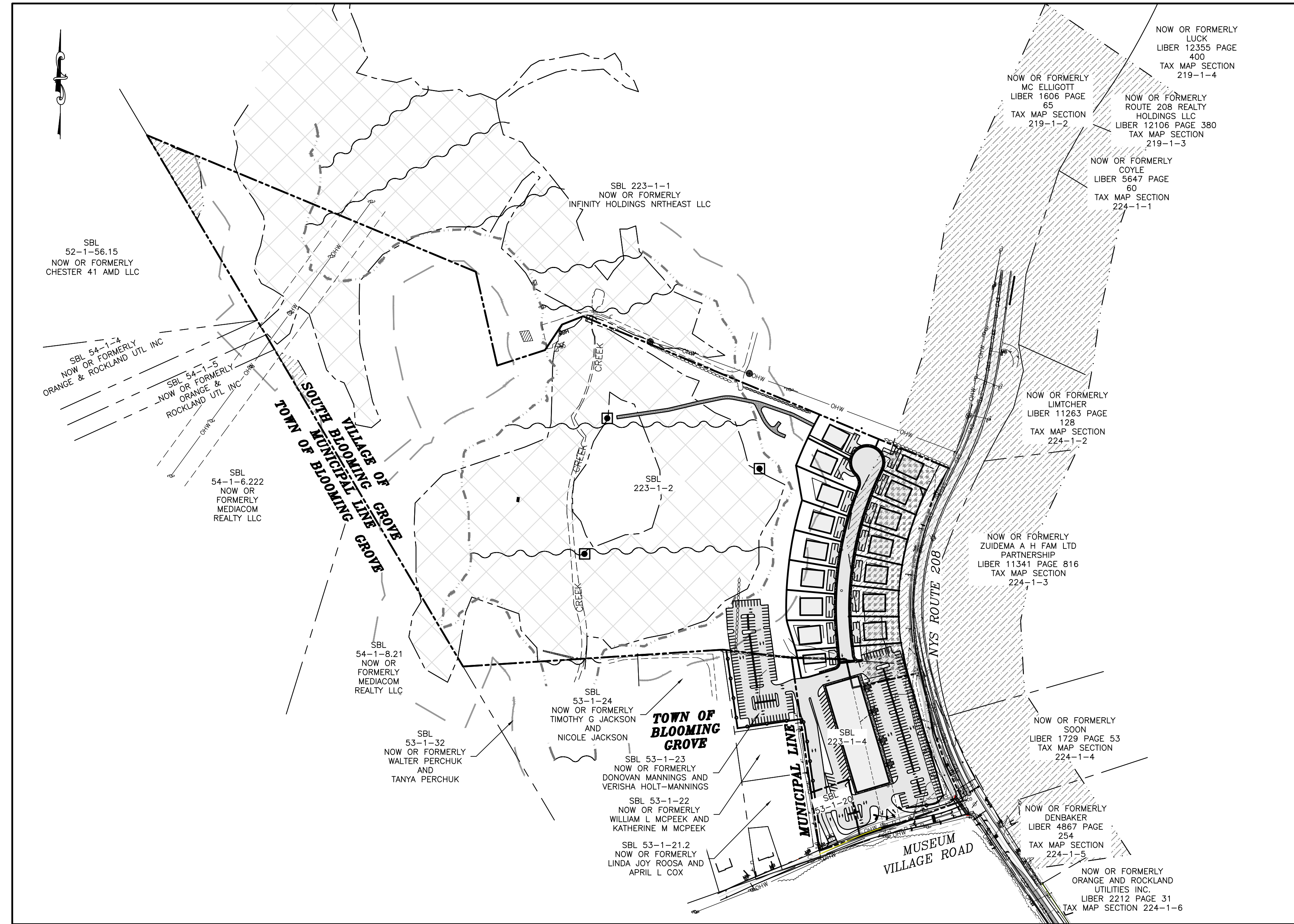
- VILLAGE OF SOUTH BLOOMING GROVE TAX MAP SBL 223-1-2 & 223-1-4
- TOWN OF BLOOMING GROVE TAX MAP SBL 53-1-20
- PROPERTY BOUNDARY INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM THE FOLLOWING:
 - A SURVEY ENTITLED "BOUNDARY SURVEY FOR 4-14 FAIRVIEW DRIVE" DATED JUNE 20, 2014 AS PREPARED BY LAND METRICS ENGINEERING & SURVEYING, P.C., 100 SNAKE HILL ROAD, WEST NYACK, NY.
 - A SURVEY ENTITLED "SURVEY OF PERMANENT UTILITY EASEMENTS FOR THE VILLAGE OF SOUTH BLOOMING GROVE" DATED APRIL 11, 2012 AS PREPARED BY GARY R. RICH, LICENSED LAND SURVEYOR 24 LAND DRIVE PINE BUSH, NY 12566.
- WETLANDS AND TOPOGRAPHY INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM THE FOLLOWING:
 - A PLAN ENTITLED "PRELIMINARY SITE PLAN - LIVE! HOTEL & CASINO" AS PREPARED BY MCLAREN ENGINEERING GROUP, P.C., 100 SNAKE HILL ROAD, WEST NYACK, NY.
 - A REPORT ENTITLED "WETLAND DELINEATION REPORT - LIVE! HOTEL & CASINO" AS PREPARED BY STERLING ENVIRONMENTAL ENGINEERING, P.C., 24 WADE ROAD, LATHAM, NEW YORK 12110 & B. LANG ASSOCIATES, 225 MAIN STREET - SUITE 205, NORTHPORT, NY 11768.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY, IF ANY, ENCROACHMENTS, WETLANDS, UTILITIES, SERVICE LINES OR STRUCTURES BELOW GROUND.
- PROPERTY SUBJECT TO DOCUMENTS OF RECORD.
- NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF N.Y. AS TIDELANDS.
- NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE LAND SURVEYOR FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.
- ONLY COPIES FROM THE ORIGINAL SURVEY MARKED WITH AN ORIGINAL PROFESSIONAL LAND SURVEYORS EMBOSSED SEAL SHALL BE CONSIDERED VALID COPIES.
- SIGNATURE AND EMBOSSED SEAL SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE NEW YORK STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
- OFFSETS SHOWN HEREON ARE NOT TO BE USED AS A BASIS FOR ANY CONSTRUCTION PERMANENT STRUCTURES I.E. BUILDINGS, SHEDS, FENCES, ETC.
- LOT AREA:
 - SBL 223-1-2: 1,673,352 SF OR 38.41 ACRES
 - SBL 223-1-4: 1,621,191 SF OR 37.2 ACRES
 - SBL 53-1-20: 20,328 SF OR 0.47 ACRES
 - TOTAL: 1,855,871 SF OR 42.6 ACRES
- FEMA MAP REFERENCE: MAP NUMBER: 807010477E
- HOURS OF OPERATION: 7am to 10pm, SEVEN DAYS PER WEEK

GENERAL NOTES:

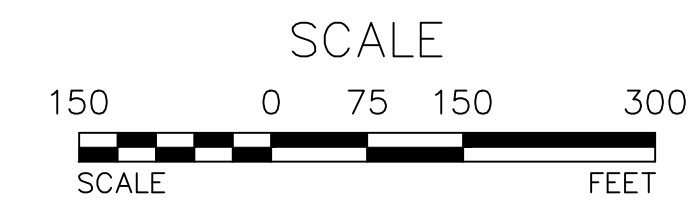
- ROUTE 208 HOLDINGS
10099 LEE AVE PMB
103 BROOKLYN
NY 11211
- PROPERTY ADDRESS:
NYS ROUTE 208 & MUSEUM VILLAGE ROAD
VILLAGE OF SOUTH BLOOMING GROVE, NY

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.



TITLE SHEET
SCALE: 1"=150'



REV.	BY	DATE	DESCRIPTION
7	MM	4-16-24	LAYOUT REVISIONS
6	MM	4-06-24	LAYOUT REVISIONS
5	MM	2-15-22	ADDITION OF LANDSCAPING AND PARKING
4	MM	10-15-21	PREPARATION OF PRELIMINARY PLANS
3	MM	6-8-21	PER DOT FULL MOVEMENT ACCESS ON NORTHERN 208 ENTRANCE
2	MM	4-8-21	ADDITION OF 4TH FLOOR
1	MM	2-15-21	PER FUSCO COMMENT LETTERS DATED 12/14/21

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

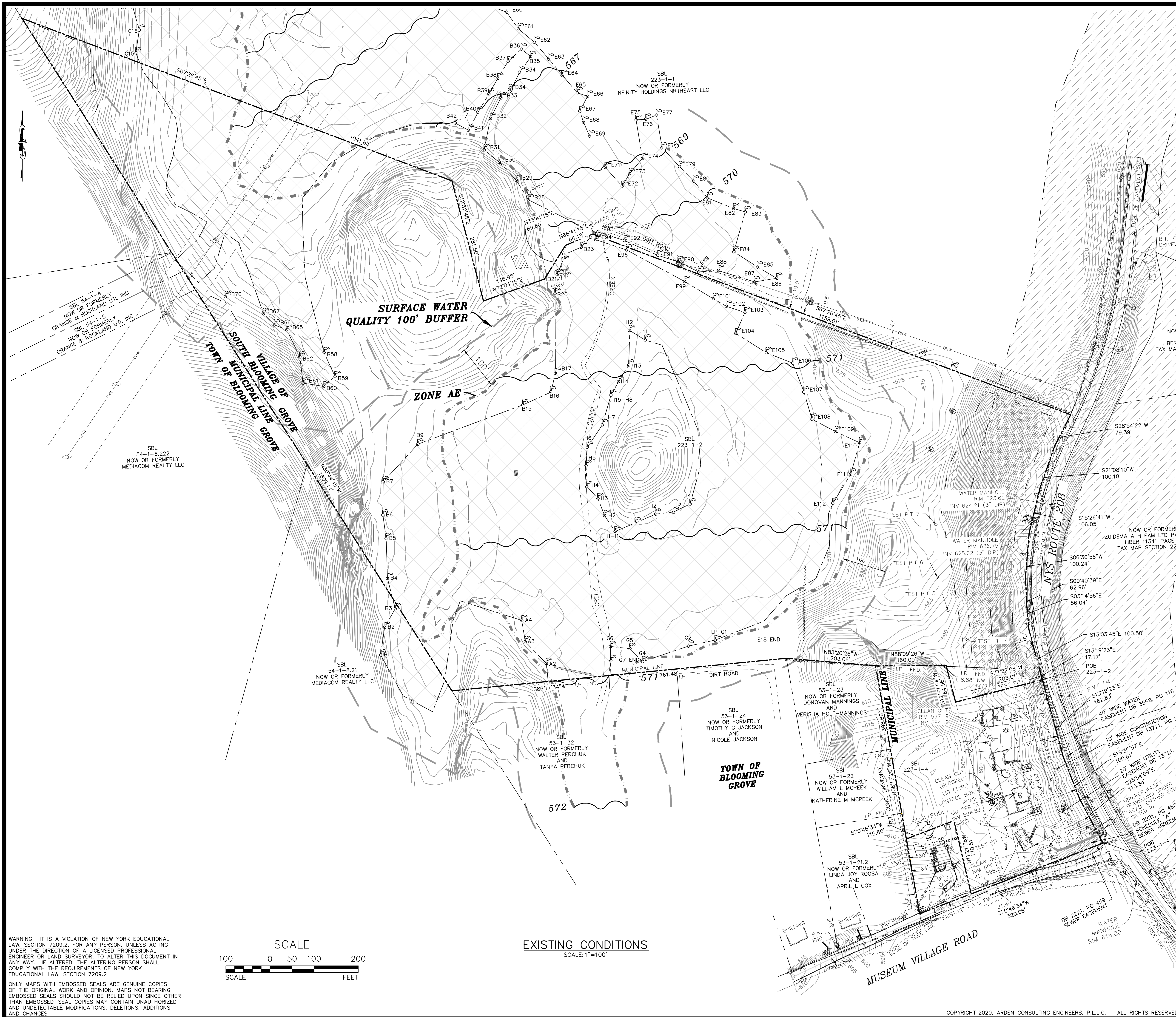
ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN AND SUBDIVISION FOR
MUSEUM VILLAGE GARDENS
MUSEUM VILLAGE ROAD - VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, N.Y.

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

JOB#: 17-010
SCALE: AS NOTED
DATE: 11/5/20
DRAWN: MM
CHECKED: MM
SHEET NO. 01 of 06





NOW OR FORMERLY
COYLE
LIBER 5647 PAGE
TAX MAP SECTION 22

LEGEND:

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING CREEK
	EXISTING OVERHEAD WIRE
	EXISTING STONE WALL
	APPROXIMATE FLOOD PLANE BOUNDARY ZONE AE
	EXISTING GUARD DRAIN
	EXISTING POLE
	EXISTING UTILITY POLE
	EXISTING LIGHT
	EXISTING
	EXISTING MAIL BOX
	EXISTING WETLAND MARKER
	EXISTING WATER VALVE
	EXISTING POST
	EXISTING SIGN
	EXISTING TREE
	EXISTING STRUCTURE
	EXISTING SIGNIFICANT BIOLOGICAL OVERLAY
	SCENIC GATEWAYS OVERLAY
	SCENIC VIEWSHED OVERLAY
	WETLAND AREA
	100 FOOT SURFACE WATER OVERLAY BUFFER
	EXISTING SEWER FORCE MAIN
	EXISTING IRON RODS FOUND
	EXISTING WELL
	EXISTING DEEP TEST



John W. McCord

JOHN WILLIAM MCCORD
PROFESSIONAL LAND SURVEYOR
NEW YORK LICENSE NO. 059904

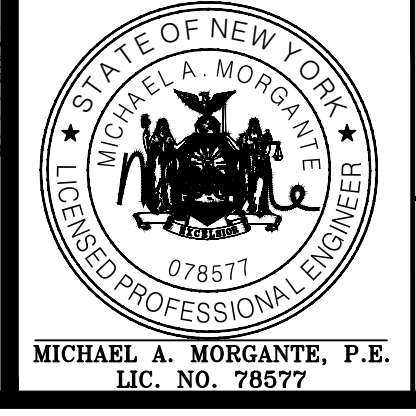
Dig Safely. New York
Call 811
before you dig

NOW OR FORMERLY
SOON
LIBER 1729 PAGE 53
TAX MAP SECTION 224-1-4

REV.	BY	DATE	DESCRIPTION
7	MM	4-16-24	LAYOUT REVISIONS
6	MM	4-06-24	LAYOUT REVISIONS
5	MM	2-15-22	ADDITION OF LANDSCAPING AND PARKING
4	MM	10-15-21	PREPARATION OF PRELIMINARY PLANS
3	MM	6-8-21	PER DOT FULL MOVEMENT ACCESS ON NORTHERN 208 ENTRANCE
2	MM	4-8-21	ADDITION OF 4TH FLOOR
1	MM	2-15-21	PER FUSCO COMMENT LETTERS DATED 12/14/21

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET



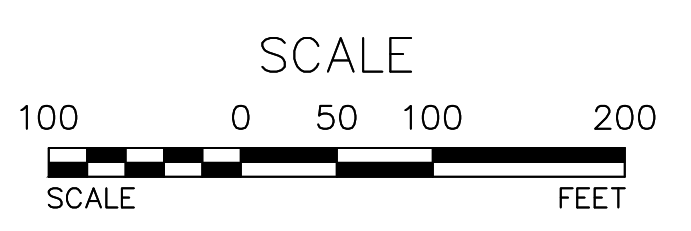
SITE PLAN AND SUBDIVISION FOR
MUSEUM VILLAGE GARDENS
MUSEUM VILLAGE ROAD - VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, N.Y.

EXISTING CONDITIONS

JOB#: 17-010
SCALE: AS NOTED
DATE: 11/5/20
DRAWN: MM
CHECKED: MM
SHEET NO. 02 of 06

WARNING - IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

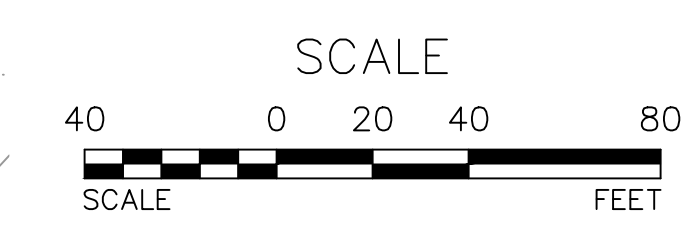


EXISTING CONDITIONS
SCALE: 1"=100'



LEGEND:

---	590	---	EXISTING MAJOR CONTOUR
---		---	EXISTING MINOR CONTOUR
---		---	EXISTING EDGE OF PAVEMENT
---		---	EXISTING PROPERTY LINE
---		---	EXISTING ADJACENT PROPERTY LINE
---		---	EXISTING CREEK
---	OHW	---	EXISTING OVERHEAD WIRE
---		---	EXISTING STONE WALL
---		---	APPROXIMATE FLOOD PLANE BOUNDARY ZONE AE
---		---	EXISTING EASEMENT
---		---	EXISTING GUARD DRAIN
---		---	EXISTING POLE
---		---	EXISTING UTILITY POLE
---		---	EXISTING LIGHT
---		---	EXISTING
---		---	EXISTING MAIL BOX
---		---	EXISTING WETLAND MARKER
---		---	EXISTING WATER VALVE
---		---	EXISTING POST
---		---	EXISTING SIGN
---		---	EXISTING TREE
---		---	EXISTING STRUCTURE
---		---	EXISTING SIGNIFICANT BIOLOGICAL OVERLAY
---		---	SCENIC GATEWAYS OVERLAY
---		---	SCENIC VIEWSHED OVERLAY
---		---	WETLAND AREA
---		---	100 FOOT SURFACE WATER OVERLAY BUFFER
---	S	---	EXISTING SEWER FORCE MAIN
---		---	EXISTING IRON RODS FOUND
---		---	EXISTING WELL
---		---	EXISTING DEEP TEST
---		---	EXISTING TO BE DEMOLISHED



REV.	BY	DATE	DESCRIPTION
7	MM	4-16-24	LAYOUT REVISIONS
6	MM	4-06-24	LAYOUT REVISIONS
5	MM	2-15-22	ADDITION OF LANDSCAPING AND PARKING
4	MM	10-15-21	PREPARATION OF PRELIMINARY PLANS
3	MM	6-8-21	PER DOT FULL MOVEMENT ACCESS ON NORTHERN 208 ENTRANCE
2	MM	4-8-21	ADDITION OF 4TH FLOOR
1	MM	2-15-21	PER FUSCO COMMENT LETTERS DATED 12/14/21

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN AND SUBDIVISION FOR
MUSEUM VILLAGE GARDENS
MUSEUM VILLAGE ROAD - VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, N.Y.

JOB#: 17-010
SCALE: AS NOTED
DATE: 11/5/20
DRAWN: MM
CHECKED: MM
SHEET NO. 03 of 06

DEMOLITION PLAN

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

DEMOLITION PLAN
SCALE: 1"=40'

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

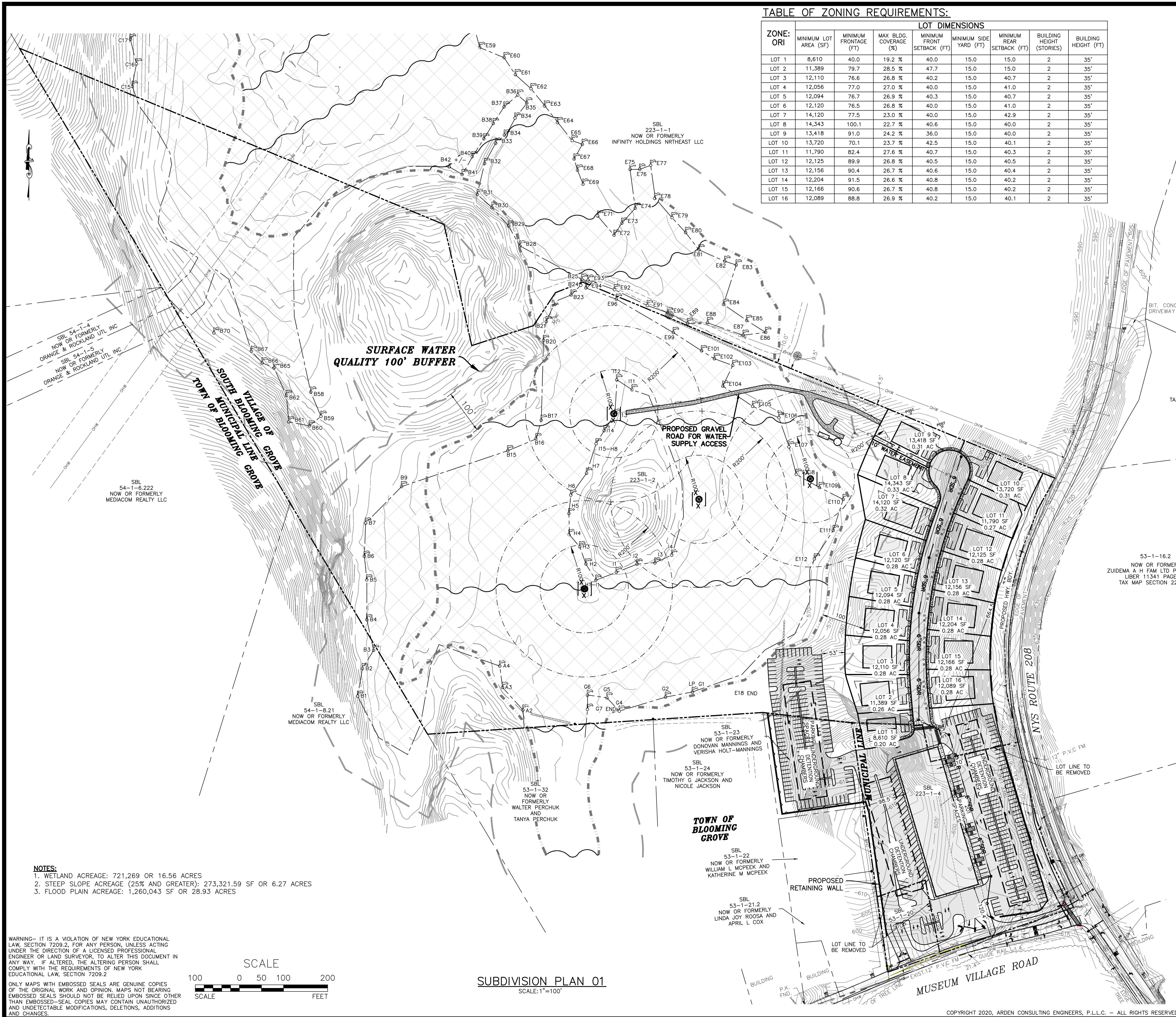


TABLE OF ZONING REQUIREMENTS:

ZONE:	LOT DIMENSIONS						
	MINIMUM LOT AREA (SF)	MINIMUM FRONTAGE (FT)	MAX BLDG. COVERAGE (%)	MINIMUM FRONT SETBACK (FT)	MINIMUM SIDE YARD (FT)	MINIMUM REAR SETBACK (FT)	BUILDING HEIGHT (STORIES)
LOT 1	8,610	40.0	19.2 %	40.0	15.0	15.0	2
LOT 2	11,389	79.7	28.5 %	47.7	15.0	15.0	2
LOT 3	12,110	76.6	26.8 %	40.2	15.0	40.7	2
LOT 4	12,056	77.0	27.0 %	40.0	15.0	41.0	2
LOT 5	12,094	76.7	26.9 %	40.3	15.0	40.7	2
LOT 6	12,120	76.5	26.8 %	40.0	15.0	41.0	2
LOT 7	14,120	77.5	23.0 %	40.0	15.0	42.9	2
LOT 8	14,343	100.1	22.7 %	40.6	15.0	40.0	2
LOT 9	13,418	91.0	24.2 %	36.0	15.0	40.0	2
LOT 10	13,720	70.1	23.7 %	42.5	15.0	40.1	2
LOT 11	11,790	82.4	27.6 %	40.7	15.0	40.3	2
LOT 12	12,125	89.9	26.8 %	40.5	15.0	40.5	2
LOT 13	12,156	90.4	26.7 %	40.6	15.0	40.4	2
LOT 14	12,204	91.5	26.6 %	40.8	15.0	40.2	2
LOT 15	12,166	90.6	26.7 %	40.8	15.0	40.2	2
LOT 16	12,089	88.8	26.9 %	40.2	15.0	40.1	2

TABLE OF ZONING REQUIREMENTS:

ZONE:	LOT DIMENSIONS						
	MINIMUM LOT AREA (SF)	MINIMUM FRONTAGE (FT)	MAX BLDG. COVERAGE (%)	MINIMUM FRONT SETBACK (FT)	MINIMUM SIDE YARD (FT)	MINIMUM REAR SETBACK (FT)	BUILDING HEIGHT (STORIES)
REQUIRED	20,000 SF	200 FT.	20%	50	50	50	2
BUILDING 1	1,679,876 SF	383 Fr.	1.93%	120.4	98.5	664.5	4

OCCUPIED BUILDING AREA = 130,000 SF.
 TOTAL BUILDING AREA INCLUDING BASEMENT STORAGE = 162,500 SF.
 * 25' MAX. HEIGHT w/ RIDGELINE OVERLAY DISTRICT

PARKING REQUIREMENTS:

- OFFICE: (OVER 1,000 SQ. FT. FOOTPRINT) 1 SPACE PER 300 SQUARE FEET OF GROSS FLOOR AREA
 - RETAIL DISTRIBUTION: 1 SPACE PER 300 SQUARE FEET OF FLOOR AREA IN SUCH USES, PLUS 1 PER EACH 600 SQUARE FEET OF FLOOR AREA IN ACCESSORY USES
 - PARKING STALL SPACES SHALL BE A MINIMUM OF NINE FEET WIDE BY 18 FEET LONG.
 - TOTAL OCCUPIED BUILDING AREA = 130,000 SQ. FT.
- PARKING REQUIRED = 433
 USING A 25% PARKING REDUCTION, THE REQUIRED PARKING = 325
 PARKING PROVIDED = 344
 5. 8 HANDICAP PARKING SPACES ARE PROVIDED

ZONING VARIANCES REQUIRED:

BUILDING HEIGHT INCREASE FROM 35' TO 57' AND 3 STORIES TO 4 STORIES

LEGEND:

- 590 --- EXISTING MAJOR CONTOUR
- --- EXISTING MINOR CONTOUR
- --- EXISTING EDGE OF PAVEMENT
- --- EXISTING PROPERTY LINE
- --- EXISTING ADJACENT PROPERTY LINE
- --- EXISTING CREEK
- --- EXISTING OVERHEAD WIRE
- --- EXISTING STONE WALL
- --- APPROXIMATE FLOOD PLANE BOUNDARY ZONE AE
- --- EXISTING EASEMENT
- --- EXISTING GUARD DRAIN
- --- EXISTING POLE
- --- EXISTING UTILITY POLE
- --- EXISTING LIGHT
- --- EXISTING
- --- EXISTING MAIL BOX
- --- EXISTING WETLAND MARKER
- --- EXISTING WATER VALVE
- --- EXISTING POST
- --- EXISTING SIGN
- --- EXISTING TREE
- --- EXISTING STRUCTURE
- --- EXISTING SIGNIFICANT BIOLOGICAL OVERLAY
- --- SCENIC GATEWAYS OVERLAY
- --- SCENIC VIEWSHED OVERLAY
- --- WETLAND AREA
- --- 100 FOOT SURFACE WATER OVERLAY BUFFER
- --- EXISTING SEWER FORCE MAIN
- --- EXISTING IRON RODS FOUND
- --- EXISTING WELL
- --- EXISTING DEEP TEST
- --- PROPOSED PROPERTY LINE
- --- PROPOSED SETBACK
- --- PROPOSED EDGE OF PAVEMENT
- X --- X --- PROPOSED FENCE
- --- PROPOSED ADA PARKING
- --- PROPOSED TRAFFIC DIRECTION
- --- PROPOSED WELL
- 6"W --- 6"W --- PROPOSED 6" C900 WATER MAIN
- E --- E --- PROPOSED 10" WATER EASEMENT
- 2"FM --- 2"FM --- PROPOSED 2" SDR 21 FORCE MAIN
- 6"SDR --- 6"SDR --- PROPOSED 6" SDR 35 SEWER MAIN
- --- PROPOSED 5' DIA SEWAGE PUMP STATION
- --- PROPOSED SEWER MANHOLE

TREE CUTTING NOTE:

NO TREE REMOVAL SHALL OCCUR FROM APRIL 1 TO OCTOBER 31 TO MITIGATE POTENTIAL IMPACTS ON INDIANA BAT.

REV.	BY	DATE	DESCRIPTION
7	MM	4-16-24	LAYOUT REVISIONS
6	MM	4-06-24	LAYOUT REVISIONS
5	MM	2-15-22	ADDITION OF LANDSCAPING AND PARKING
4	MM	10-15-21	PREPARATION OF PRELIMINARY PLANS
3	MM	6-8-21	PER DOT FULL MOVEMENT ACCESS ON NORTHERN 208 ENTRANCE
2	MM	4-8-21	ADDITION OF 4TH FLOOR
1	MM	2-15-21	PER FUSCO COMMENT LETTERS DATED 12/14/21

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
 P.O. BOX 340 MONROE, N.Y.
 TEL: (845) 782-8114
 WWW.ARDENCONSULTING.NET

**SITE PLAN AND SUBDIVISION FOR
 MUSEUM VILLAGE GARDENS**
 MUSEUM VILLAGE ROAD - VILLAGE OF SOUTH BLOOMING GROVE
 ORANGE COUNTY, N.Y.

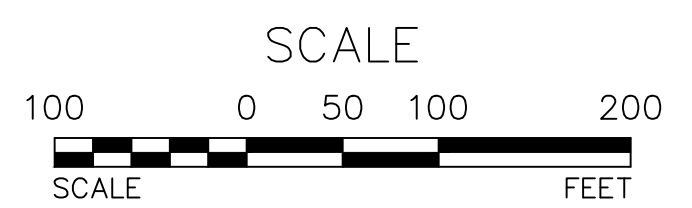
SUBDIVISION PLAN 01

JOB#: 17-010
 SCALE: AS NOTED
 DATE: 11/5/20
 DRAWN: MM
 CHECKED: MM
 SHEET NO. 04 of 06

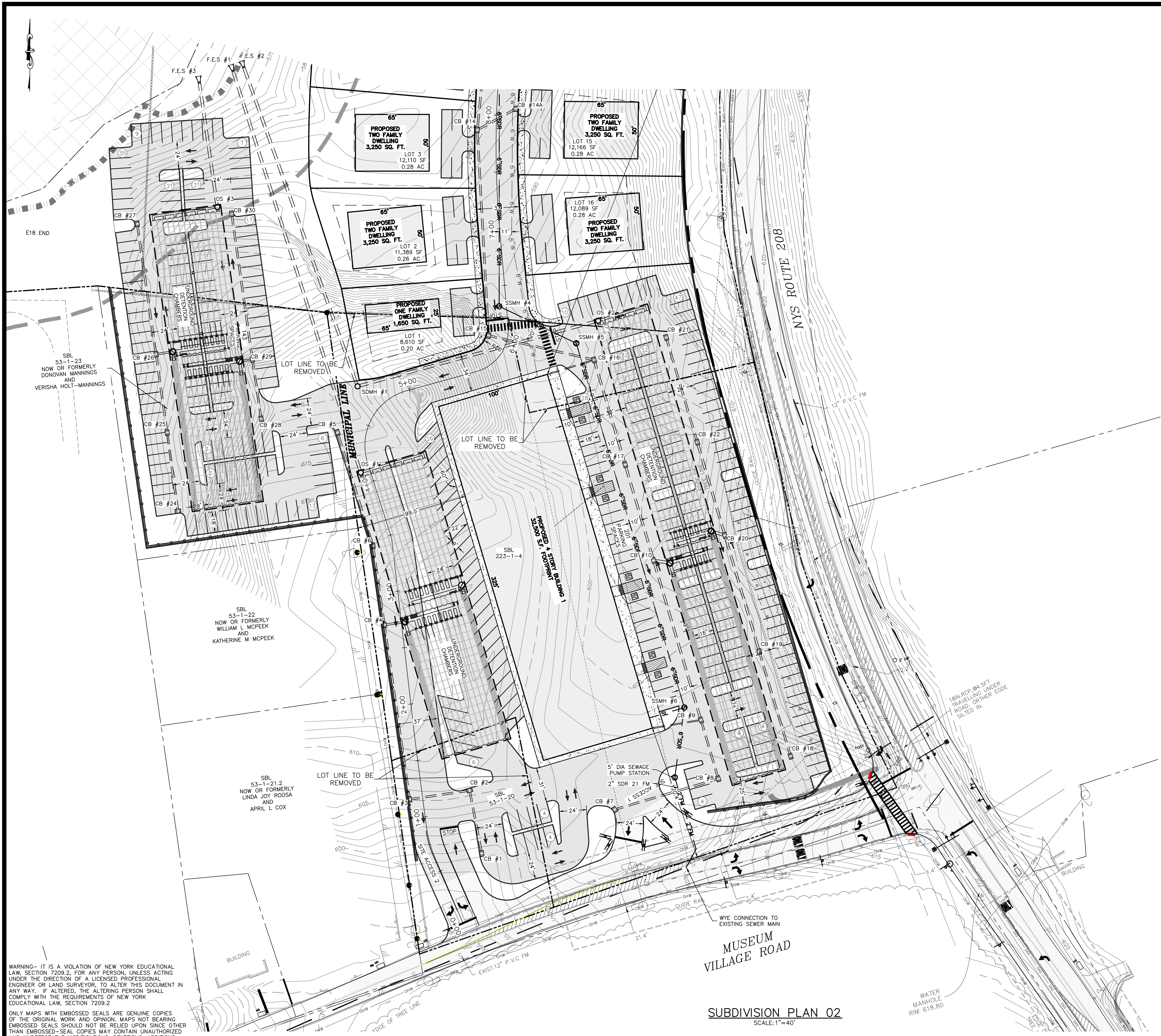
NOTES:
 1. WETLAND ACREAGE: 721,269 OR 16.56 ACRES
 2. STEEP SLOPE ACREAGE (25% AND GREATER): 273,321.59 SF OR 6.27 ACRES
 3. FLOOD PLAIN ACREAGE: 1,260,043 SF OR 28.93 ACRES

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

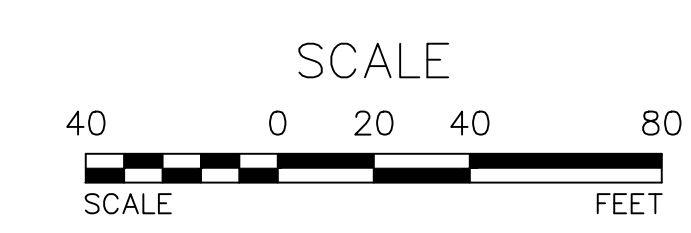
ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.



SUBDIVISION PLAN 01
 SCALE: 1"=100'



- LEGEND:**
- 590 --- EXISTING MAJOR CONTOUR
 - --- EXISTING MINOR CONTOUR
 - --- EXISTING EDGE OF PAVEMENT
 - --- EXISTING PROPERTY LINE
 - --- EXISTING ADJACENT PROPERTY LINE
 - --- EXISTING CREEK
 - --- EXISTING OVERHEAD WIRE
 - --- EXISTING STONE WALL
 - --- APPROXIMATE FLOOD PLANE BOUNDARY ZONE AE
 - --- EXISTING EASEMENT
 - --- EXISTING GUARD DRAIN
 - --- EXISTING POLE
 - --- EXISTING UTILITY POLE
 - --- EXISTING LIGHT
 - --- EXISTING
 - --- EXISTING MAIL BOX
 - --- EXISTING WETLAND MARKER
 - --- EXISTING WATER VALVE
 - --- EXISTING POST
 - --- EXISTING SIGN
 - --- EXISTING TREE
 - --- EXISTING STRUCTURE
 - --- EXISTING SIGNIFICANT BIOLOGICAL OVERLAY
 - --- SCENIC GATEWAYS OVERLAY
 - --- SCENIC VIEWSHED OVERLAY
 - --- WETLAND AREA
 - --- 100 FOOT SURFACE WATER OVERLAY BUFFER
 - S --- EXISTING SEWER FORCE MAIN
 - --- EXISTING IRON RODS FOUND
 - --- EXISTING WELL
 - --- EXISTING DEEP TEST
 - --- PROPOSED PROPERTY LINE
 - --- PROPOSED SETBACK
 - --- PROPOSED EDGE OF PAVEMENT
 - X --- X --- PROPOSED FENCE
 - --- PROPOSED ADA PARKING
 - --- PROPOSED TRAFFIC DIRECTION
 - --- PROPOSED WELL
 - --- PROPOSED SIDEWALK
 - 6"W --- 6"W --- PROPOSED 6" C900 WATER MAIN
 - 2"FM --- 2"FM --- 2"FM --- PROPOSED 2" SDR 21 FORCE MAIN
 - 6"SDR --- 6"SDR --- PROPOSED 6" SDR 35 SEWER MAIN
 - --- PROPOSED 5' DIA SEWAGE PUMP STATION
 - --- PROPOSED SEWER MANHOLE
 - --- PROPOSED DRAINAGE CATCHBASIN
 - --- PROPOSED DRAINAGE PIPE
 - --- PROPOSED DRAINAGE MAINHOLE
 - --- PROPOSED FLARED END SECTION



REV.	BY	DATE	DESCRIPTION
7	MM	4-16-24	LAYOUT REVISIONS
6	MM	4-06-24	LAYOUT REVISIONS
5	MM	2-15-22	ADDITION OF LANDSCAPING AND PARKING
4	MM	10-15-21	PREPARATION OF PRELIMINARY PLANS
3	MM	6-8-21	PER DOT FULL MOVEMENT ACCESS ON NORTHERN 208 ENTRANCE
2	MM	4-8-21	ADDITION OF 4TH FLOOR
1	MM	2-15-21	PER FUSCO COMMENT LETTERS DATED 12/14/21

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN AND SUBDIVISION FOR
MUSEUM VILLAGE GARDENS
MUSEUM VILLAGE ROAD - VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, N.Y.

JOB#: 17-010
SCALE: AS NOTED
DATE: 11/5/20
DRAWN: MM
CHECKED: MM
SHEET NO. 05 of 06

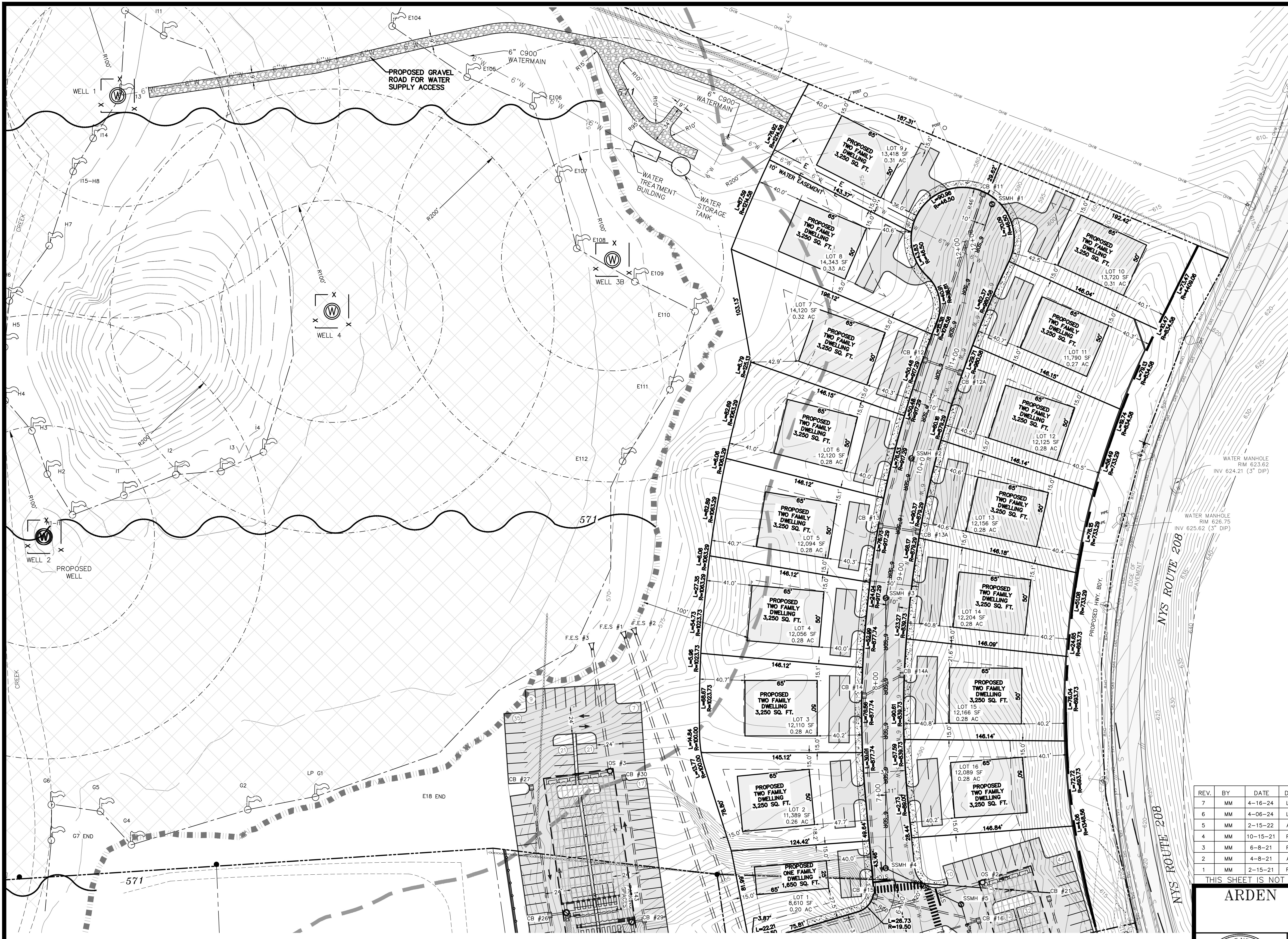
SUBDIVISION PLAN 02

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

SUBDIVISION PLAN 02
SCALE: 1"=40'

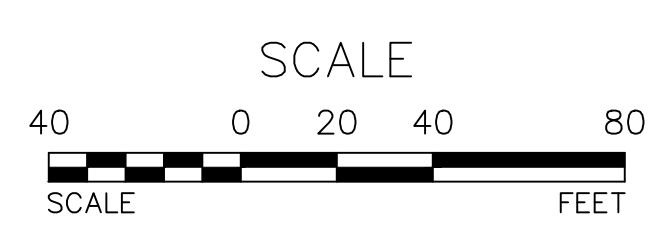
MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577



- LEGEND:**
- 590 --- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING EDGE OF PAVEMENT
 - EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING CREEK
 - EXISTING OVERHEAD WIRE
 - EXISTING STONE WALL
 - APPROXIMATE FLOOD PLANE BOUNDARY ZONE AE
 - EXISTING EASEMENT
 - EXISTING GUARD DRAIN
 - EXISTING POLE
 - EXISTING UTILITY POLE
 - EXISTING LIGHT
 - EXISTING
 - EXISTING MAIL BOX
 - EXISTING WETLAND MARKER
 - EXISTING WATER VALVE
 - EXISTING POST
 - EXISTING SIGN
 - EXISTING TREE
 - EXISTING STRUCTURE
 - EXISTING SIGNIFICANT BIOLOGICAL OVERLAY
 - SCENIC GATEWAYS OVERLAY
 - SCENIC VIEWSHED OVERLAY
 - WETLAND AREA
 - 100 FOOT SURFACE WATER OVERLAY BUFFER
 - S --- EXISTING SEWER FORCE MAIN
 - EXISTING IRON RODS FOUND
 - EXISTING WELL
 - EXISTING DEEP TEST
 - PROPOSED PROPERTY LINE
 - PROPOSED SETBACK
 - PROPOSED EDGE OF PAVEMENT
 - X --- PROPOSED FENCE
 - PROPOSED ADA PARKING
 - PROPOSED TRAFFIC DIRECTION
 - PROPOSED WELL
 - PROPOSED SIDEWALK
 - 6"W --- 6"W --- PROPOSED 6" C900 WATER MAIN
 - E --- E --- PROPOSED 10' WATER EASEMENT
 - 6"SDR --- 6"SDR --- PROPOSED 6" SDR 35 SEWER MAIN
 - PROPOSED SEWER MANHOLE
 - PROPOSED DRAINAGE CATCHBASIN
 - PROPOSED DRAINAGE PIPE
 - PROPOSED DRAINAGE MAINHOLE
 - PROPOSED FLARED END SECTION

WARNING - IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.



SUBDIVISION PLAN 03
SCALE: 1"=40'

REV.	BY	DATE	DESCRIPTION
7	MM	4-16-24	LAYOUT REVISIONS
6	MM	4-06-24	LAYOUT REVISIONS
5	MM	2-15-22	ADDITION OF LANDSCAPING AND PARKING
4	MM	10-15-21	PREPARATION OF PRELIMINARY PLANS
3	MM	6-8-21	PER DOT FULL MOVEMENT ACCESS ON NORTHERN 208 ENTRANCE
2	MM	4-8-21	ADDITION OF 4TH FLOOR
1	MM	2-15-21	PER FUSCO COMMENT LETTERS DATED 12/14/21

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

**SITE PLAN AND SUBDIVISION FOR
MUSEUM VILLAGE GARDENS**
MUSEUM VILLAGE ROAD - VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, N.Y.

JOB#: 17-010
SCALE: AS NOTED
DATE: 11/5/20
DRAWN: MM
CHECKED: MM
SHEET NO. 06 of 06

SUBDIVISION PLAN 03

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

